

**CITY OF LEAVENWORTH
PLANNING COMMISSION
COMMISSION CHAMBERS, CITY HALL
100 N. 5th Street
Leavenworth, KS 66048**

**REGULAR SESSION
Monday, May 5, 2025
6:00 p.m.**

CALL TO ORDER:

- 1. Roll Call/Establish Quorum**
- 2. Approval of Minutes: February 3, 2025**

OLD BUSINESS:

None

NEW BUSINESS:

- 1. 2025-04 SUP – 414 POTTAWATOMIE ST.**
Conduct a public hearing for Case No. 2025-04 SUP – 414 Pottawatomie St., wherein the applicant is requesting a Special Use Permit to allow the operation of an in home Child Care Center in the R1-6 (High Density Single Family Residential District) zoning district.
- 2. 2025-06 PLN – 800 EISENHOWER RD.**
Consider a site development plan for 800 Eisenhower Rd., Case No. 2025-06 PLN.
- 3. 2025-07 SUB – PHIL’S CORNER PRELIMINARY PLAT**
Consider a preliminary plat for Phil’s Corner Preliminary Plat, Case No. 2025-07 SUB.
- 4. 2025-08 SUB – PHIL’S CORNER FINAL PLAT**
Consider a final plat for Phil’s Corner Final Plat, Case No. 2025-08 SUB.

OTHER BUSINESS:

None

ADJOURN

CITY OF LEAVENWORTH PLANNING COMMISSION
COMMISSION CHAMBERS, CITY HALL
100 N 5th Street, Leavenworth, Kansas 66048
REGULAR SESSION
Monday, February 3, 2025
6:00 PM

CALL TO ORDER:

Commissioners Present

Brian Stephens
Don Homan
Bill Waugh
Sam Maxwell

Commissioners Absent

Sherry Whitson
Kathy Kem

City Staff Present

Kim Portillo
Michelle Baragary

Chairman Stephens called the meeting to order at 6:00 p.m. and noted a quorum was present.

APPROVAL OF MINUTES: December 2, 2024

Chairman Stephens asked for questions, comments or a motion on the minutes presented for approval: December 2, 2024. Commissioner Waugh moved to approve the minutes as presented, seconded by Commissioner Homan and approved by a vote of 4-0.

OLD BUSINESS

None

NEW BUSINESS:

1. WELCOME NEW MEMBER SAM MAXWELL

2. ELECTION OF OFFICERS

Commissioner Homan moved that Commissioner Waugh be Chairperson, seconded by Commissioner Maxwell. Approved by a vote of 4-0.

Commissioner Homan volunteered for Vice Chairperson, seconded by Chairman Stephens. Approved by a vote of 4-0.

3. 2025-01 SUP – 1112 Spruce Street

Conduct a public hearing for Case No. 2025-01 SUP – 1112 Spruce Street, wherein the applicant is requesting a Special Use Permit to allow a two-family dwelling in the R1-6 zoning district, High Density Single Family Residential District. Two-family dwellings are allowed in the R1-6 zoning district with the issuance of a Special Use Permit.

Chairman Waugh called for the staff report.

Planning Director Kim Portillo stated the applicant, Jordan Spradlin, is requesting a Special Use Permit to allow a two-family dwelling in the R1-6 zoning district, located at 1112 Spruce Street. Two-family dwellings are allowed in the R1-6 zoning district with the approval of a Special Use Permit.

Mr. Spradlin purchased the property in 2022 as a single-family home. On January 22-2024, a building permit was issued to install two egress windows in the finished basement, at which point Staff became aware of the intent to use the structure as a two-family dwelling unit. Mr. Spradlin was informed by staff that two-family dwellings are not allowed in the R1-6 zoning district without the issuance of a Special Use Permit.

The structure is currently registered with the City as a single-family rental, but has been functioning as a two-family dwelling without a Certificate of Occupancy for a two-family dwelling. The off-street parking requirements for the proposed use is two parking stalls per unit, which is met. All building modifications that are needed to meet building code requirements will be required to go through the permitting process.

The applicant is requesting a Special Use Permit to adequately represent the current use of the structure on the property, and to bring the use into compliance with the Development Regulations. Issuance of a Special Use Permit will require the applicant to register the structure with the City as a two-family dwelling.

COMMISSION FINDINGS

The Commission may recommend issuance of a special use permit whenever it finds that:

1. The proposed special use complies with all applicable provisions of this ordinance.

Based on all available information, staff believes that this application complies with all provisions of City of Leavenworth Development Regulations.

2. The proposed special use at the specified location will contribute to and promote the economic development, welfare or convenience of the public.

Currently, the property is registered as a single-family rental, but is functioning as a two-family unit. The proposed two-family dwelling will fill a need in the community by providing a two-family housing option.

3. The special use will not cause substantial injury to the value of other property in the neighborhood in which it is located.

Based on all available information, staff does not believe that the proposed use will cause any substantial injury to the value of other property in the neighborhood.

4. The location and size of the special use, the nature and intensity of the operation involved in or conducted in connection with it, and the location of the site with respect to streets giving access to it are such that the special use will not dominate the immediate neighborhood so as to prevent development and use of neighboring property in accordance with the applicable zoning district regulations.

The proposed two-family dwelling is consistent with the character of the neighborhood and will not prevent future use or development of nearby properties. All building modifications will go through the permitting process.

Notification was sent to property owners within 200' of the subject property, as required by Kansas Statute. Since notifications were mailed, staff has received no comments or inquiries.

STAFF RECOMMENDATION:

Staff recommends approval of the Special Use Permit request based on the analysis and findings included herein.

ACTION/OPTIONS:

- Motion, based upon findings as stated and conditions as presented, to recommend approval to the City Commission with included conditions.
- Motion, to recommend denial to the City Commission.
- Table the issue for additional information/consideration.

Chairman Waugh asked for questions about the staff report.

Commissioner Homan voiced a concern about an exit for the lower unit.

Megan Haer, representing the applicant Jordan Spradlin, stated there is an exit for the lower unit. There are stairs next to the downstairs bathroom, and the exit is at the top of the stairs.

Ms. Haer stressed that Mr. Spradlin is very interested in doing anything necessary to comply and be agreeable for consideration for a Special Use Permit.

Commissioner Homan asked if the rear parking area can hold three cars.

Ms. Haer responded that there is enough room to put two cars front to back in the driveway, and room for at least two vehicles on the gravel parking pad in the rear.

City Planner Michelle Baragary stated it meets our regulations for off-street parking.

Commissioner Stephens asked if the unit is currently vacant.

Ms. Haer stated the upper unit is vacant, the lower unit is occupied.

Commissioner Homan asked how long it had been operating as a dual unit.

Ms. Haer answered it has been operating as a dual unit since mid-year 2024. It's had a single tenant since late December 2024.

With no further questions about the staff report, Chairman Waugh opened the public hearing. With no one wishing to speak, Chairman Waugh closed the public hearing, and called for discussion among the commissioners.

Commissioner Maxwell said he thinks it looks good, they have a good layout for it. There's plenty of parking and he really doesn't see an issue.

Commissioner Stephens made a motion to recommend approval of the Special Use Permit to the City Commission based upon the findings as stated and conditions as presented, seconded by Commissioner Maxwell, and passed by a vote of 4-0.

OTHER BUSINESS:

With no other business, Ms. Baragary stated there may be a meeting on March 3, 2025.

Chairman Waugh adjourned the meeting at 6:13 p.m.

Minutes taken by Katherine Criscione, Planning and Community Development Administrative Assistant

DRAFT

**PLANNING COMMISSION AGENDA ITEM
2025-04 SUP
414 POTTAWATOMIE ST.**

MAY 5, 2025

SUBJECT:

A request for a Special Use Permit to allow the operation of an in home Child Care Center at 414 Pottawatomie St.



Prepared By:

Michelle Baragary,
City Planner



Reviewed By:

Kim Portillo, AICP
Planning & CD Director

NATURE OF REQUEST

The applicant, Jessica Wilson, is requesting a Special Use Permit to allow the operation of Child Care Center in their home located at 414 Pottawatomie St. The property is currently zoned R1-6 (High Density Single Family Residential District). Child Care Centers are allowed in the R1-6 zoning district with issuance of a Special Use Permit. The operator is licensed by the State of Kansas to care for a maximum of 12 children, dependent upon the ages of the children in care.

The Child Care Center will operate Monday-Friday from 7:00 a.m. to 5:00 p.m., and is housed on the main floor of the home. The space includes a front room, dining area, dedicated daycare play space, main bathroom, kitchen, and a fenced outdoor play area.

CONDITIONS OF DETERMINATION

In recommending approval of a special use, the Planning Commission may impose such conditions, safeguards and restrictions as may be necessary to carry out the general purpose and intent of the ordinance. The development regulations stipulate specific conditions as a requirement for the approval of Child Care Centers as follows:

1. Shall not be located along an arterial street as designated on the Major Street Plan Map unless indirect vehicular access to that street, such as with a frontage road is available. The City Planner, with the advice of the DRC, shall determine if the drop off and pick up arrangements of a childcare center or business appear safe. Appeal of any negative decision shall be to the City Commission.

The subject property is located along Pottawatomie St., which is classified as a Residential street. Drop-off and pick-up will be on Pottawatomie St., with parents/guardians escorting their child to the front door. To the east of the subject property are two vacant lots, providing ample parking space.

2. Shall provide at least one hundred (100) square feet of open space per child. This open space shall be 100% enclosed by a minimum four (4) foot high fence or wall.

The subject property includes a back yard area of approximately 4,600 sqft., enclosed by a 4' high chain link fence.

3. Shall provide a loading zone capable of accommodating at least two (2) automobiles for the easy picking up and discharging of passengers.

The subject property does not include a driveway or other paved off-street loading area. However, in the area of town in which the property is located, the majority of homes do not have a driveway or other off-street paved parking/loading area. There is ample on-street parking in front of the subject property, and access may be obtained off the rear alley if needed.

4. Shall conform to all requirements of the State of Kansas and shall acquire a State of Kansas Child Care Center License.

The applicants have provided a copy of their Family Child Care Home permit from the Kansas Department of Health and Environment (KDHE). KDHE staff has visited and inspected the daycare for all areas of compliance.

5. All childcare centers operated in residential zoning districts shall be the only legal residence of the operator.

The home functions as the only residence of the operator/owner.

6. Childcare centers in residential districts may have one non-illuminated monument sign with no more than 3 square feet per side and a maximum of 2 sides or one non-illuminated sign affixed to the main structure of 3 square feet.

No signage is currently displayed on the property. Any signage displayed in the future will conform to this requirement.

COMMISSION FINDINGS

The Commission may recommend issuance of a special use permit whenever it finds that:

1. The proposed special use complies with all applicable provisions of this ordinance.

Staff believes that this application complies with all provisions of City of Leavenworth Development Regulations, based upon review of all available materials.

2. The proposed special use at the specified location will contribute to and promote the economic development, welfare or convenience of the public.

Child Care Centers are an essential service to working parents in the community, and promote the economic development, welfare and convenience of the public.

3. The special use will not cause substantial injury to the value of other property in the neighborhood in which it is located.

Staff has no indication that the proposed Child Care Center will cause any substantial injury to the value of other property in the neighborhood.

4. The location and size of the special use, the nature and intensity of the operation involved in or conducted in connection with it, and the location of the site with respect to streets giving access to it are such that the special use will not dominate the immediate neighborhood so as to prevent development and use of neighboring property in accordance with the applicable zoning district regulations.

No new structures or building modifications are proposed as part of this special use permit. The property will continue to look and function as a residential structure. The daycare could account for an increase in

up to 48 car trips per day on the street, when at full capacity of 12 children. Currently, there are three children being cared for.

Notification was sent to property owners within 200' of the subject property, as required by Kansas statute. After notifications were mailed, staff received no questions or comments.

STAFF RECOMMENDATION:

Staff recommends approval of the Special Use Permit request based on the analysis and findings included herein, subject to the following conditions:

1. A minimum of 1,200 square feet of open space 100% enclosed by a minimum 4' high fence or wall shall be provided and maintained in good condition.
2. A copy of the permanent Family Child Care Home license shall be provided annually upon renewal by the State of Kansas.
3. The operation shall be limited to a maximum of 12 children.
4. No additional home occupations may be carried out at the residence.
5. Annual payment of the Special Use Permit.

Failure to maintain compliance with all conditions shall result in revocation of the Special Use Permit.

ACTION/OPTIONS:

- Motion, based upon findings as stated and conditions as presented, to recommend approval to the City Commission with included conditions.
- Motion, to recommend denial to the City Commission.
- Table the issue for additional information/consideration.

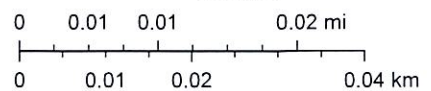
2025-04 SUP



4/29/2025, 3:37:08 PM

1:1,128

- Override 1
- Parcels (City Owned)
- Parcels_Current
- Buildings
- Leavenworth City Limits
- City Right-of-Way
- RoadCenterline
- Address (Points)



Esri, HERE, Garmin, (c) OpenStreetMap contributors, and the GIS user community

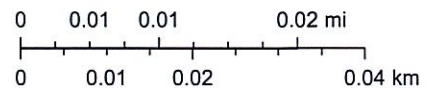
2025-04 SUP - 414 Pottawatomie Zoning



4/29/2025, 3:45:09 PM

1:1,128

- Override 1
- Parcels_Current
- Zoning_CURRENT Buildings
- GBD
- OBD
- R1-6
- Leavenworth City Limits
- City Right-of-Way
- Parcels (City Owned)
- RoadCenterline



Esri, HERE, Garmin, (c) OpenStreetMap contributors, and the GIS user community



SPECIAL USE PERMIT
CITY OF LEAVENWORTH, KANSAS

OFFICE USE ONLY

CASE NO.: 2025-04 SUP

Application No.	<u>16904</u>
Fee (non-refundable)	\$350.00
Filing Date	<u>3/5/25</u>
Received By	<u>SH</u>
Hearing Date	<u>5/5/25</u>
Publication Date	<u>4/9/25</u>

As provided in Section 2.04 of the 2016 Development Regulations, application is hereby made for a SPECIAL USE PERMIT for the operation of a: IN Home Daycare

in accordance with the attached site plan on the following described property:

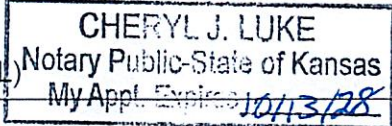
Subject Property:	<u>414 Pottawatomie St. Leavenworth KS, 66048</u>		
Legal Description:	<u>(Attach a full legal description provided by the Register of Deeds Office)</u>		
Real Estate PID #:	<u>052-077-25-0-32-08-02.00-0</u>		
Zoning:	<u>R1-L6</u>	Historic District:	

I/We, the undersigned, depose and state we are the owners of the above described property:

Name(s) of Owner (print):	<u>Jermaine Wilson and Jessica Wilson</u>		
Owner Address:	<u>414 Pottawatomie St. Leavenworth KS, 66048</u>		
Contact No.	<u>9132005994</u>	Email:	<u>jfamilydaycare2024@gmail.com</u>

Signature of Owner(s): [Handwritten signatures]

State of Kansas
County of Leavenworth



Signed or attested before me on: 3/5/25

Notary Public: Cheryl Luke

My Appointment Expires: 10/13/2028

If business is operated by someone other than the owner, provide name and address of operator(s).

Name of Lessee:	
Address:	
Contact No.	
Email:	

NOTE: All signatures must be in ink. Signature of owner(s) must be secured and notarized.

Check list below...

<input type="checkbox"/>	Non-Refundable Fee of \$350.00 is due at time of application
<input type="checkbox"/>	Certified list of property owners within two hundred (200) feet of the subject property
<input type="checkbox"/>	Attach full legal description obtained through the Register of Deeds Office
<input type="checkbox"/>	Site Plan drawn to scale (See General Instructions)
<input type="checkbox"/>	Supporting documentation (See General Instructions)

**Kansas Department of Health and Environment
License**

Family Child Care Home
License No. 0084501-003

Licensee: Jessica Marie Wilson

Facility: JFamily Daycare

Located at: 414 NE Pottawatomie St
Leavenworth, KS 66048



03/31/2026

In the county of: Leavenworth

Having filed an application and having agreed to comply with the laws and regulations of the State of Kansas governing Family Child Care Homes, Jessica Marie Wilson is hereby authorized to care for

a maximum of 12 children under the capacities outlined in K.A.R. 28-4-114(e).

This License is effective 03/20/2025 and remains in effect until the expiration date noted by the above sticker unless invalidated by a change of owner, operator, location or it is administratively closed.

Smoking is prohibited inside the day care home during hours of operation.

** Local codes and ordinances may prescribe other requirements for the legal operation of this facility.

Janet Stanek, Secretary
Kansas Department of Health and Environment

Kansas Department of Health and Environment

Temporary Permit

Family Child Care Home
Temporary Permit No. 0084501-002

Licensee: Jessica Marie Wilson

Facility: JFamily Daycare

Located at: 414 NE Pottawatomie St
Leavenworth, KS 66048

In the county of: Leavenworth

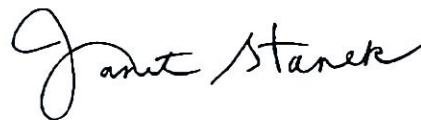
Having filed an application and having agreed to comply with the laws and regulations of the State of Kansas governing Family Child Care Homes, Jessica Marie Wilson is hereby authorized to care for

a maximum of 12 children under the capacities outlined in K.A.R. 28-4-114(e).

This Temporary Permit is effective 12/22/2024 and expires on 03/22/2025.

Smoking is prohibited inside the day care home during hours of operation.

** Local codes and ordinances may prescribe other requirements for the legal operation of this facility.



Janet Stanek, Secretary
Kansas Department of Health and Environment



KANSAS DEPARTMENT OF HEALTH AND ENVIRONMENT
 CHILD CARE LICENSING PROGRAM
 1000 SW Jackson *CSOB * Suite 200 * Topeka, Kansas 66612-1274
 Phone (785) 296-1270 Fax 559-4244
 www.kdheks.gov/kidsnet

NOTICE OF SURVEY FINDINGS

K.S.A. 65-512 requires all licensed facilities to be surveyed at least once every 12 months. The survey is to include all areas of the home or facility, both indoors and outdoors. The Notice of Survey Findings is your notification of the results of any on-site survey. Findings may result in enforcement action by the Kansas Department of Health and Environment (KDHE). Areas of non-compliance are to be corrected within five days as required by K.S.A. 65-513.

If you believe the findings listed below are in error, first discuss the findings with your surveyor. If the matter remains unresolved, you may request a Program Review. Procedures for requesting a Program Review can be obtained from the KDHE website or by contacting KDHE directly. Any requests for Program Review must be submitted within 15 calendar days of the date at the bottom of this form.

JFamily Daycare **0084501**

Name of Facility (as stated on the license) License #

414 NE Pottawatomie St,

Physical Address of the facility

Jessica Marie Wilson

Licensee

City: **Leavenworth, KS** Zip Code : **66048-** County : **Leavenworth**

Phone Number : **(913) 617-3667** Fax Number : **() -** E-mail : **jfamilydaycare2024@gmail.com**
ail.com

Type of Facility : **Family Child Care Home** Survey Date(s) : **01/08/2025**

Survey Type : **Initial Survey** Survey # **24-007781** Complaint #

Law/Regulation # Required	Non-Compliance Description
K.A.R. 28-4-126(c)(1) Health of individuals at least 16 years of age. Each applicant with a temporary permit and each licensee shall ensure that the requirements of this regulation are met. Each individual at least 16 years of age who is living, working, or regularly volunteering in the facility shall have a record of a negative tuberculosis test or x-ray obtained not more than two years before the date of employment or initial application for a license or not later than 30 days after the date of employment or initial application.	One provider lacks documentation of a negative TB test. Two residents of the home lack negative TB on file.

NOTICE OF SURVEY FINDINGS

Survey Type : **Initial Survey**

License #**0084501**

Complaint

Survey #**24-007781**

Law/Regulation # Required	Non-Compliance Description
Consultation	Transportation If you start transporting children, ensure that your insurance is compliant with KDHE regulations.
Consultation	Emergency Preparedness Please update and add more information.
Consultation	Other Update and add more detail to discipline policy.

f

Consultations are not a result of a violation but are an opportunity for surveyors to provide new or updated information and/or regulatory guidance.

Assistant Surveyors : Alyson Heim

Surveyor : Joy Bogart

Date : 01/08/2025

Provider : Jessica Wilson

Date : 01/08/2025

OFFICE OF THE STATE FIRE MARSHAL
800 SW JACKSON, STE 104, TOPEKA, KS 66612
PHONE: (785) 296-3401 FAX: (785) 296-0151

FIRE AND LIFE SAFETY AGREEMENT INITIAL APPLICATION AND ANNUAL RENEWAL FORM

Check One: Group Day Care Home Licensed Day Care Home

Check One: Initial License Annual Renewal

0084301-001
(License Number)

I, Jessica Marie Wilson have provided the following:
(Print your name as it is listed on your license)

I understand that I am responsible for meeting the fire and life safety codes to protect all persons in my home under my care from fire.

I have contacted my local fire department and building/zoning official and have met all local fire safety requirements. This year I notified the fire department closest to my home that I do child care in my home. The fire department I notified was: Fire Department Name Leavenworth Fire Department FD Phone Number 913 682-3346

I understand that my basement or second floor can NOT be used for child care until I have written approval on file from the State/local fire officials. Once approved the basement may ONLY be used for child care if there are at least two separate and remote exits to the outside, only ONE exit can be an approved escape window.

I understand that I must be able to demonstrate that I can get everyone under my care, safely out of my home to a designated safe place within 4 minutes, and that I may be asked to demonstrate this ability in a fire exit drill. If children are located on the second floor, children must occasionally practice the use of the approved second floor fire escape window by going to the window and waiting for rescue.

I have working smoke detectors installed according to the manufacturer's instructions on every level of my home in the pathways leading directly to the outside and in each sleeping room used by children in my care. My smoke detectors are tested monthly and records are kept for review. My smoke detectors are powered by 10-year lithium batteries or are hard-wired with battery back-up.

I have a written emergency plan for use in case of fire. All persons responsible for the care of children in my home are familiar with my emergency plan and can get the children safely outside to the designated safe place.

I understand all areas of my home may be inspected at any time by State/local officials to determine compliance with this Agreement.

I understand that an on-site inspection conducted by State/local fire officials may only occur once in the lifetime of the license. I understand that it is my responsibility to conduct an annual review of all fire and life safety code requirements.

I agree to follow all fire and life safety codes and standards as outlined within the Fire and Life Safety Agreement and as directed by the State/local fire officials when an on-site inspection is conducted.

I understand that a copy of this Agreement must be posted next to my license at all times.

I understand by signing this Agreement I have met all the requirements stated in this document. I understand that if inspected and found to be in violation, I may be subject to criminal or administrative action.

FIRE AND LIFE SAFETY AGREEMENT
INITIAL AND/OR ANNUAL FIRE INSPECTION
 GROUP AND LICENSED CHILD CARE HOMES

NAME: J Family Daycare ADDRESS: 100-1081100 CITY/STATE/ZIP: Leavenworth KS PHONE: 913 200 5999

- Child care provider is in a structure designed and/or used as one or two family dwelling. Day Care Center requirements must apply if in an apartment, church, commercial building, or other area. MET NOT MET NA
- Child care is on main level and has two remote compliant exits. (Secondary exit may be stairs a compliant Rescue/ventilation window or door leading directly to the outside) MET NOT MET NA
- Child care is in the basement area and has compliant exiting. (Secondary exit may be a compliant stairs leading to the main level, Rescue/ventilation window or door leading directly to the outside) MET NOT MET NA
- Child care is on the second floor and has compliant exiting. (Secondary exit may be a compliant stairs leading to the main level, Rescue/ventilation window or door leading directly to the outside) MET NOT MET NA
- Primary or Secondary means of escape does not exit through any hazard area. (Garage, storage, etc.) MET NOT MET NA
- Every required exit door can be easily opened from the inside at all times when the facility is operating. MET NOT MET NA
- Every ESCAPE PATH including all stairways is clear of obstacles and all doors are in proper working condition. MET NOT MET NA
- Working smoke detectors are located in every exit pathway, in each sleeping room used for child care MET NOT MET NA
- Single-station smoke detection hardwired to the electrical system with battery back up or ten year lithium battery detectors shall be required for initial inspection (Licensed after January 1, 2003) Install Date of Det: 10/2024
- Existing providers, previously licensed before January 1, 2003 may continue with battery detectors. Install Date of Det:
- Smoke detectors are tested monthly and records are kept on file for review. MET NOT MET NA
- Copy of the current FIRE/LIFE SAFETY AGREEMENT is posted next to license. MET NOT MET NA
- Children can open every closet door from the inside at all times. MET NOT MET NA
- Written emergency procedures for fire evacuation are provided and practiced monthly. MET NOT MET NA
- Monthly fire drills are documented. Drills shall be conducted and evacuation times shall be within 4 minutes. Inspector may ask the operator to demonstrate ability to conduct such a fire drill in his or her presence. MET NOT MET NA
- Written emergency procedures for tornadoes are provided and practiced monthly April through September. MET NOT MET NA
- Every bathroom door can be unlocked from the outside at all times. The unlocking key/device is readily accessible to the provider. MET NOT MET NA
- All unused electrical outlets (in licensed areas) have child-resistant protective covers. MET NOT MET NA
- All natural gas, kerosene, wood, propane heaters, etc., are properly vented to the outside of the home. MET NOT MET NA
- A barrier that prevents children from getting too close or burned protects all heating devices. MET NOT MET NA

DATE OF FIRE OFFICIAL INSPECTION: 10/24/24 FIRE OFFICIAL SIGNATURE: [Signature]

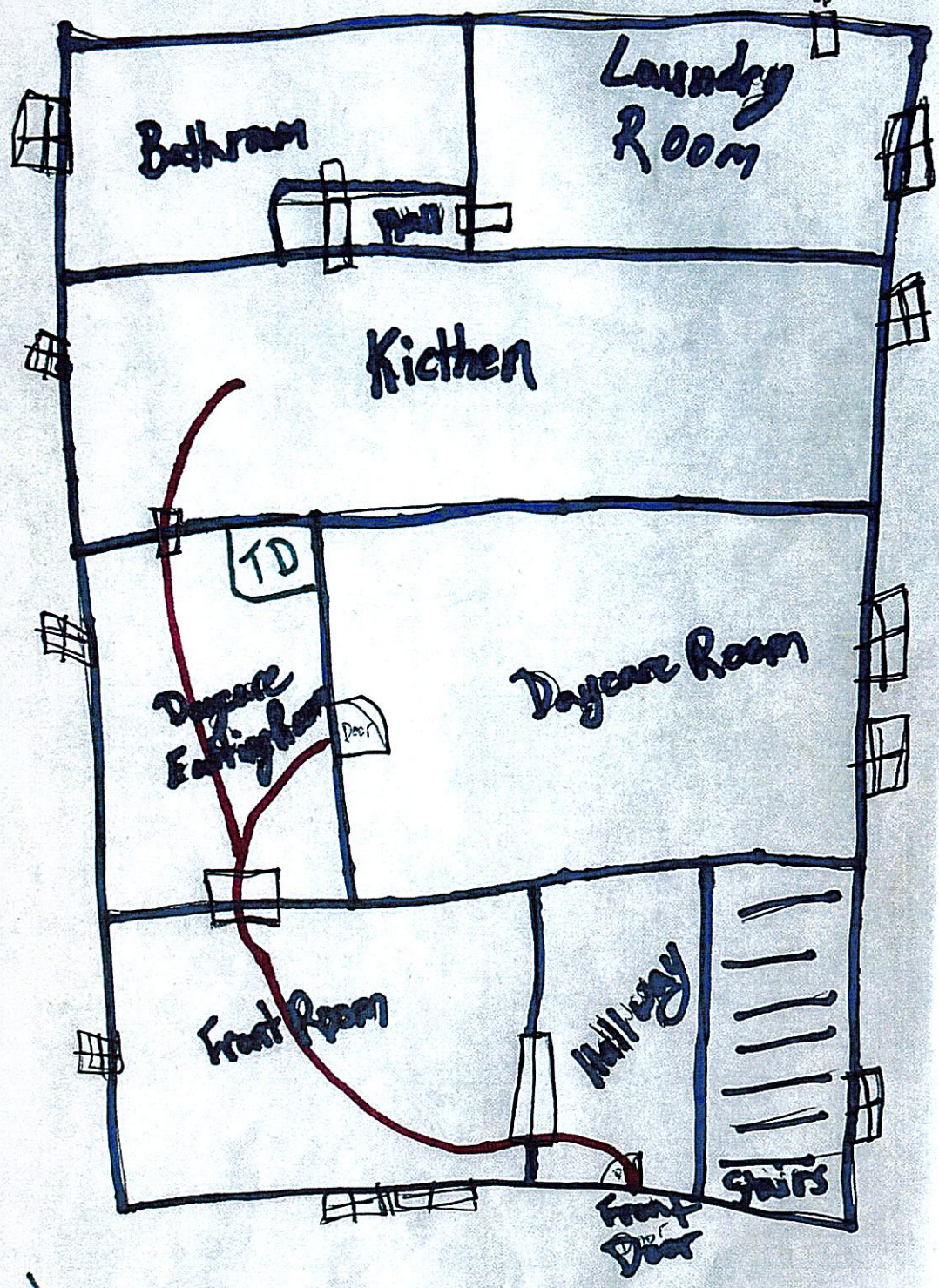
ANNUAL RENEWAL: I declare that the Fire and Life Safety Agreement has been examined by me and to the best of my knowledge and belief is a true, correct and complete attestation of my compliance with fire codes as required by Kansas law. I understand that failure to comply with Kansas fire codes may result in fines or a cease and desist order pursuant to K.S.A. 31-139 and K.S.A. 31-159.

If you agree with the statement above please check the box, sign your name and provide the date that you reviewed the agreement. I have read and understand the above declaration

DATE OF ANNUAL REVIEW: _____ PROVIDER SIGNATURE: [Signature]

WILSON

Back Door



Fire
Tornado Drill





Measurement



Sq Feet ▾

Measurement Result

4,676.4 Sq Feet

Clear

Press CTRL to enable snapping

JFamily Daycare Daily Schedule

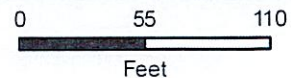
Our daily schedule is very flexible to allow for unplanned events or other opportunities that may arise throughout the day. We do our best to fit everything into our day. We do go outside every day (Weather Permitting) to play in the yard.

7-8:30am	School Drop OFF
8:30-9am	Breakfast
9-9:45am	Free Play/Quiet Time
9:45-10:45am	Learning Centers
10:45-11:45am	Arts & Crafts/Outdoor play
11:45-12pm	Wash up/Bathroom Break
12-1pm	Lunch Time
1-1:15pm	Story Time
1:15-3pm	Naptime/Quiet Time for non-nappers
3-3:20pm	Wake up Time/Bathroom Break
3:20-3:45pm	Afternoon Kid Pick up from schools
3:45-4:15pm	Wash Hands/Snack Time
4:15-5pm	Clean up/TV Time/Outside Play/Parent Pick up

City of Leavenworth Property Radius Search



414 POTTAWATOMIE ST, Leavenworth, KS 66048
052-077-25-0-32-08-012-00-0



PLANNING COMMISSION AGENDA ITEM
2025-06 PLN
LES SCHWAB TIRE CENTER
800 EISENHOWER ROAD

MAY 5, 2025

SUBJECT:

A request to approve a site development plan for Les Schwab Tire Center located at 800 Eisenhower Road.



Prepared By:

Kim Portillo, AICP
Director of Planning and
Community Development

BACKGROUND:

The applicant team met with the Development Review Committee on January 16, 2025 to review the proposed site plan for a new *automobile repair shop*, known as Les Schwab Tire Center, to be developed on a vacant lot at 800 Eisenhower Road. The property is zoned GBD, General Business District, and the proposed use is allowed by-right.

The Development Regulations places responsibility for final review and approval or rejection of site plans for specified projects with the Development Review Committee (DRC). The DRC is a staff review committee composed of the following personnel: Director of Planning & Community Development, Chief Building Inspector, City Clerk, City Manager, Assistant City Manager, City Planner, Fire Chief, Parks & Recreation Director, Police Chief, and Public Works Director. Typically, a site plan of this nature would be reviewed and approved by the DRC, however in this circumstance there a note on the recorded plat for the property stating future development of the site requires approval of a site plan by the Planning Commission.

ANALYSIS

The subject site is located at 800 Eisenhower Road and is 2.79 acres in size. Surrounding uses include a carwash to the west, church to the east, single-family residential to the north, and cemetery to the south on the opposite side of Eisenhower Road.

Access to the site is provided by two entrances along Eisenhower Road, an arterial street. Pedestrian access to the right-of-way is provided by a sidewalk connection linking the public and private sidewalks.

The following criteria from section 2.05 of the Development Regulations apply to site plan reviews:

1. The proposed development shall not have any detrimental effect upon the general health, welfare, safety and convenience of persons residing or working in the neighborhood; and shall not be detrimental or injurious to the neighborhood.

Staff review concludes that the proposed development shall not have a detrimental effect upon the general health, welfare, safety and convenience of the neighborhood. This site is located along a major roadway and is zoned for such type of development as is now proposed. Immediately adjacent uses to the east and west have similar intensity with high-traffic volume. To the north is an existing single-family neighborhood, Pine Meadow Place. The applicant has worked with staff on a site design that provides buffering and separation between the two uses, in the form of landscaping and open space.

2. The proposed development shall promote a desirable relationship of structures: to one another; to open spaces; and to the topography on the site and in the surrounding area.

The proposed building is designed and sited to promote a cohesive and visually compatible relationship with surrounding structures and the natural topography of the site. The layout considers existing grade changes and drainage paths to minimize grading and preserve natural features where possible. The northern and eastern portions of the site in particular utilize preservation of existing tree canopy, vegetation and drainage. The orientation and placement of the building support consistent setbacks and scale relative to neighborhood development, maintaining a harmonious streetscape. The orientation of the building, with overhead doors facing east, also promotes a context-sensitive relationship with the residential uses to the north by directing activity and noise away from those homes.

3. The height, area, setbacks, and overall mass, as well as parts of any structures (buildings walls, signs, lighting, etc.) and landscaping shall be adequate.

The proposed height, area, setbacks and mass are adequate for the site and surrounding context. The building is setback approximately 50 feet, whereas adjacent buildings are setback approximately 25 feet on the west and 80 feet on the east. The proposed setback of this site provides a transition between the two. Approximately 47% of the site is impervious area, whereas up to 80% impervious area coverage is allowed. The height of the building is 30 feet, whereas the district allows up to 45 feet.

Landscaping is provided throughout the site. Landscaped parking lot islands are located in the parking area and ground mounted mechanical equipment is screened. Some existing vegetation will remain along the north and east areas of the site. There is a heavier concentration of landscaping to the north, to act as a buffer between the residential use. In addition to the tree canopy proposed to remain, the applicant will be planting a row of junipers along the northern edge of the parking lot and behind the trash enclosure.

4. Ingress, egress, internal traffic circulation, off-street parking facilities, loading and service areas, and pedestrian walkways shall be designed as to promote safety and convenience.

The site has right-of-way access from Eisenhower Road, where two drives with painted medians are proposed. The internal drive loops around the building, providing sufficient internal circulation. Pedestrian sidewalk connections and crosswalks within the parking lot connect the public sidewalk and parking area to the building in a safe and efficient way. Adequate parking is provided for the use.

5. The architectural character of the proposed structure shall meet the requirements of Article 7, Design Standards.

The proposed structure meets the requirements of Article 7, design standards for architecture. The proposed building uses precast concrete construction with a mix of smooth, exposed aggregate, and vertical relief finishes in a neutral-toned color palette with accents of dark burnt red tone. Additionally, a stone veneer and horizontal relief pattern are provided to break up the massing of the building. While the primary entrance for the site is on the east façade, the southern street facing façade has been given a similar storefront appearance with increased glazing and canopy feature to maintain a strong visual connection to the public right-of-way.

The proposed trash enclosure is located north of the building, and is of masonry construction using materials that match the building construction. Rooftop mechanical equipment will be screened by the parapet.

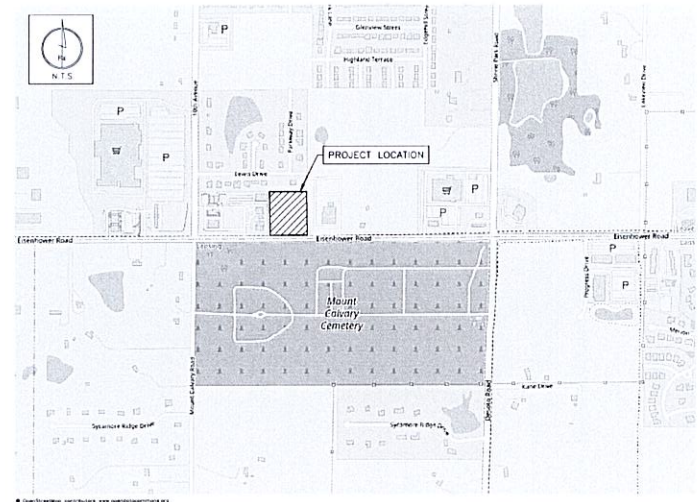
ACTION/OPTIONS:

- Recommend approval of the site plan for Les Schwab Tire Center located at 800 Eisenhower Road.
- Recommend approval with conditions of the site plan Les Schwab Tire Center located at 800 Eisenhower Road.
- Recommend disapproval of the site plan for Les Schwab Tire Center located at 800 Eisenhower Road.

ATTACHMENTS:

- Site Plan
- Landscape Plan
- Elevation Plans
- Material Board

SITE PLAN
LES SCHWAB TIRES - STORE NO. 00232
800 W. EISENHOWER ROAD
LEAVENWORTH, LEAVENWORTH COUNTY, KS
LAMP RYNEARSON NO. 0324156



LOCATION MAP



**KANSAS
STATE LOCATION MAP**



ALL UTILITIES ARE SHOWN BASED ON THE INFORMATION AVAILABLE TO THE ENGINEER. THERE IS NO GUARANTEE ALL FACILITIES ARE SHOWN OR THAT THE LOCATION, DEPTH, AND SIZE OF EACH FACILITY IS CORRECT. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES AND SERVICE LINES PRIOR TO CONSTRUCTION. COORDINATE NECESSARY RELOCATIONS WITH UTILITY COMPANIES.

UTILITY CONTACTS

CITY OF LEAVENWORTH SEWER 100 N 5TH STREET LEAVENWORTH, KANSAS 66048 (913) 684-0392 ATTN: MIKE STEPHAN, DEPUTY DIRECTOR OF PUBLIC WORKS MSTEPHAN@FIRSTCITY.ORG	LEAVENWORTH WATERWORKS 601 CHEROKEE STREET LEAVENWORTH, KANSAS 66048 (913) 682-1513
EVERGY 23505 WEST 86TH STREET SHAWNEE, KANSAS 66227 (785) 508-2409 ATTN: JORGE FERNANDEZ JORGE.FERNANDEZ@EVERGY.COM	SPECTRUM DESIGN & CONSTRUCTION 8221 W. 119TH ST OVERLAND PARK, KANSAS 66213 (913) 643-1963 ATTN: BILL MORTSOLF BILL.MORTSOLF@CHARTER.COM
KANSAS GAS SERVICE 11401 WEST 89TH STREET OVERLAND PARK, KANSAS 66214 (913) 558-8948 ATTN: BRIAN SMOYER BRIAN.SMOYER@KNGAS.COM	AT&T 9444 NALL AVENUE OVERLAND PARK, KANSAS 66207 (913) 353-6648 ATTN: RANDAL GASKIN RG9515@ATT.COM

INDEX OF SHEETS

01	COVER SHEET
02	EXISTING CONDITIONS PLAN
03	SITE PLAN SHEET
04	GRADING PLAN
05	UTILITY PLAN
06	DRAINAGE AREA MAP
07	LANDSCAPE PLAN
08	IRRIGATION MAP AND NOTES
A150	FLOOR PLANS
A202	EXTERIOR ELEVATIONS
A203	MATERIAL PALETTE

**LAMP
RYNEARSON**

LAMP RYNEARSON.COM
 OMAHA, NEBRASKA
 1010 W. 202ND STREET, SUITE 100
 FORT COLLINS, COLORADO
 400 HANCOCK DRIVE, SUITE 200
 KANSAS CITY, MISSOURI
 4601 STATE ST, #200, STE. 200, KANSAS CITY, MO 64112
 816.452.1100

ENGINEER:
 LAMP RYNEARSON
 9001 STATE LINE ROAD, SUITE 200
 KANSAS CITY, MO 64114
 CONTACT: DAN MCGHEE
 (816) 361-0440
 Dan.McGhee@lamprynearson.com

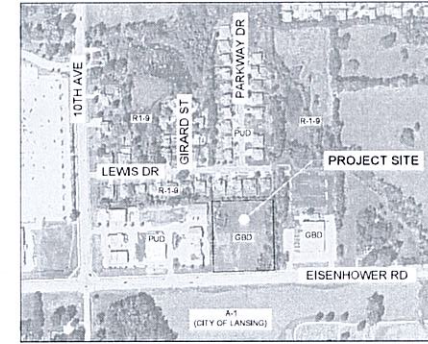
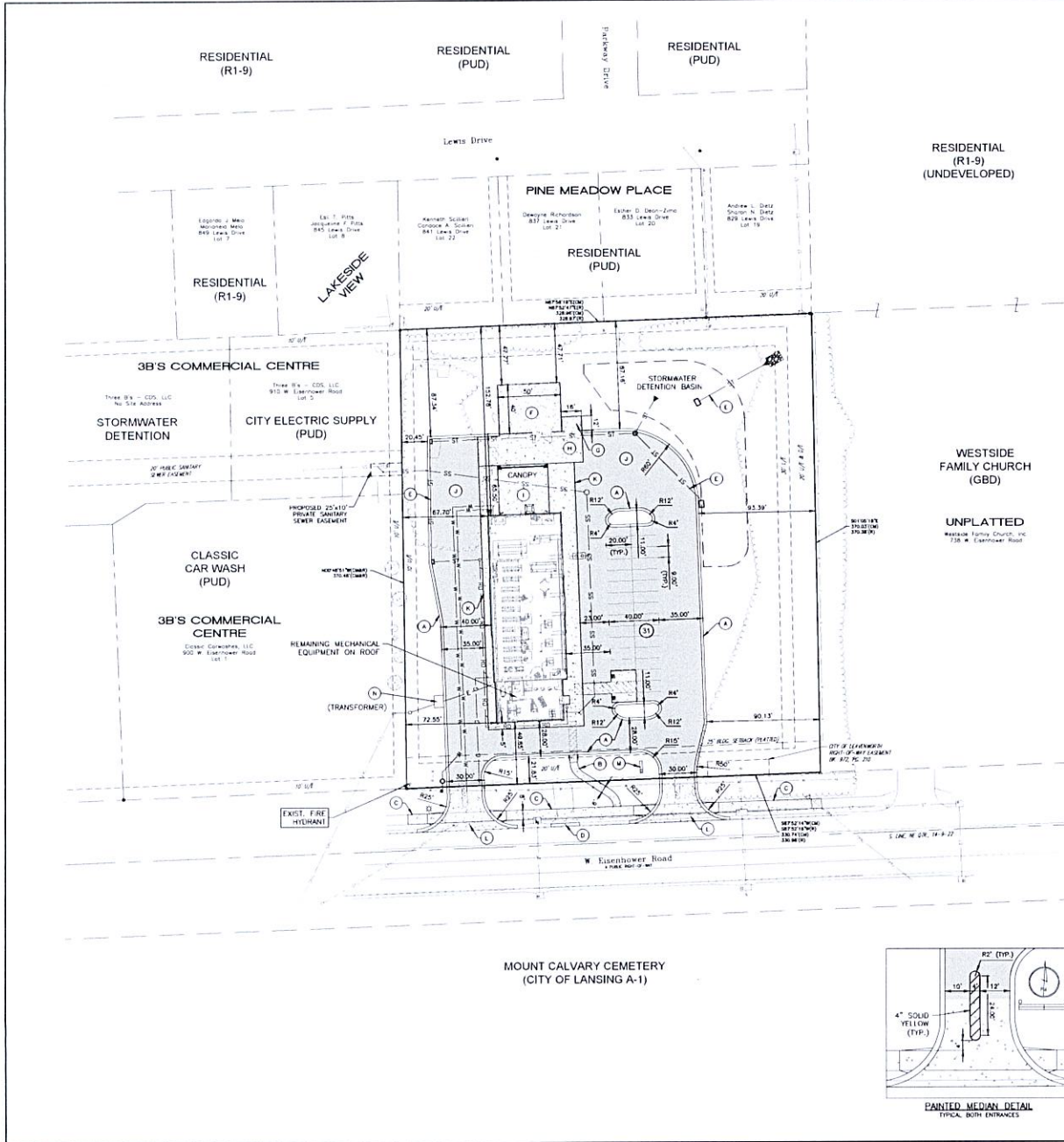


CLIENT:
 LES SCHWAB WAREHOUSE CENTER, LLC
 20900 COOLEY RD
 BEND, OR 97701
 CONTACT: STACIA GEBERS
 REAL ESTATE DEVELOPMENT MANAGER
 (541) 416-5390
 Stacia.Gebers@lesschwab.com

OWNER:
 THREE B'S - CDS, LLC
 13217 HIGH PRairie ROAD
 LEAVENWORTH, KS 66048
 CONTACT: DALE BOHANNON
 dale196@yahoo.com

LAMP RYNEARSON, INC. IS AN EQUAL OPPORTUNITY EMPLOYER. MINORITIES AND WOMEN ARE ENCOURAGED TO APPLY. 11/15/2023 10:55 AM. 00232-01-01

00232-01-01 MARCH 2023
 LES SCHWAB TIRES - 800 W. EISENHOWER ROAD, LEAVENWORTH, LEAVENWORTH COUNTY, KS



LEGAL DESCRIPTION

TRACT A, PINE MEADOW PLACE, A SUBDIVISION IN THE CITY OF LEAVENWORTH, LEAVENWORTH COUNTY, KANSAS

SITE DATA BLOCK

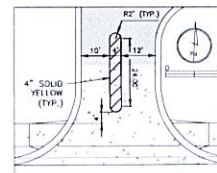
PROPERTY AREA	2.80 ACRES (122,158 SF)
IMPERVIOUS AREA	1.32 ACRES (57,550 SF)
PROTOTYPE	7 BAY FULL SERVICE
BULLEPEN	EXTERNAL
BUILDING AREA	9,733 SF
ADDRESS	800 W. EISENHOWER ROAD
ZONING	GBD (GENERAL BUSINESS)
PERMITTED USE AS/AUTOMOBILE REPAIR SHOP	
PARKING	REQUIRED / PROVIDED
	28 / 31
(2) SPACES PER SERVICE BAY PLUS (1) SPACE PER EMPLOYEE	
1 SERVICE BAYS AND 18 WORKSHOP EMPLOYEES	
2 x 7.1 x 34.4 REQUIRED SPACES	
SETBACKS	FRONT SIDE REAR
PER GC	25' 0' 25' 25'
MAX COVERAGE	80%
*IN ACCORDANCE WITH LOCAL ORDINANCES	
BUILDING REQUIREMENTS	
MAX HEIGHT = 45'	
SIGN ALLOWANCE: PERMITTED (1) FREE STANDING SIGN PER PARCEL, MAX HEIGHT = 15', MAX AREA = 100 SF	
Pylon Monument	

LEGEND

- PROPOSED FULL DEPTH ASPHALT PAVEMENT
- PROPOSED CONCRETE PAVEMENT
- PARKING STALL COLOUR

SITE KEY NOTES:

- 1) TYPE A CURB AND GUTTER
- 2) NEW 4" CONCRETE SIDEWALK WITH SIDEWALK RAMP
- 3) REMOVE AND REPLACE 4" CONCRETE SIDEWALK
- 4) REMOVE EXISTING CONCRETE DRIVEWAY APPROACH AND ASPHALT PAVEMENT, REPLACE WITH NEW TYPE A CURB AND GUTTER.
- 5) PROPOSED STORM SEWER
- 6) BULLEPEN ENCLOSURE
- 7) TRASH ENCLOSURE
- 8) CONCRETE PAD FOR BULLEPEN AND WHEELOFF TRASH RECEPTACLE
- 9) CANOPY AND CONCRETE PAD, CANOPY SCREENED ON THE NORTH SIDE.
- 10) ASPHALT PAVEMENT
- 11) CONCRETE PAVEMENT
- 12) CONCRETE DRIVEWAY APPROACH WITH SIDEWALK RAMPS
- 13) PROPOSED PYLON SIGN
- 14) TRANSFORMER PAD AND TRANSFORMER



LAMP RYNEARSON

LAMP RYNEARSON CO.
 1000 W. 10TH ST. SUITE 100
 LEAVENWORTH, KANSAS 66040
 (785) 842-1234
 WWW.LAMPRYNEARSON.COM

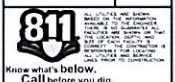


PRELIMINARY

NOT RELEASED FOR CONSTRUCTION
 MARK DATE: MARCH 2025
 4/28/2025

SITE PLAN SHEET

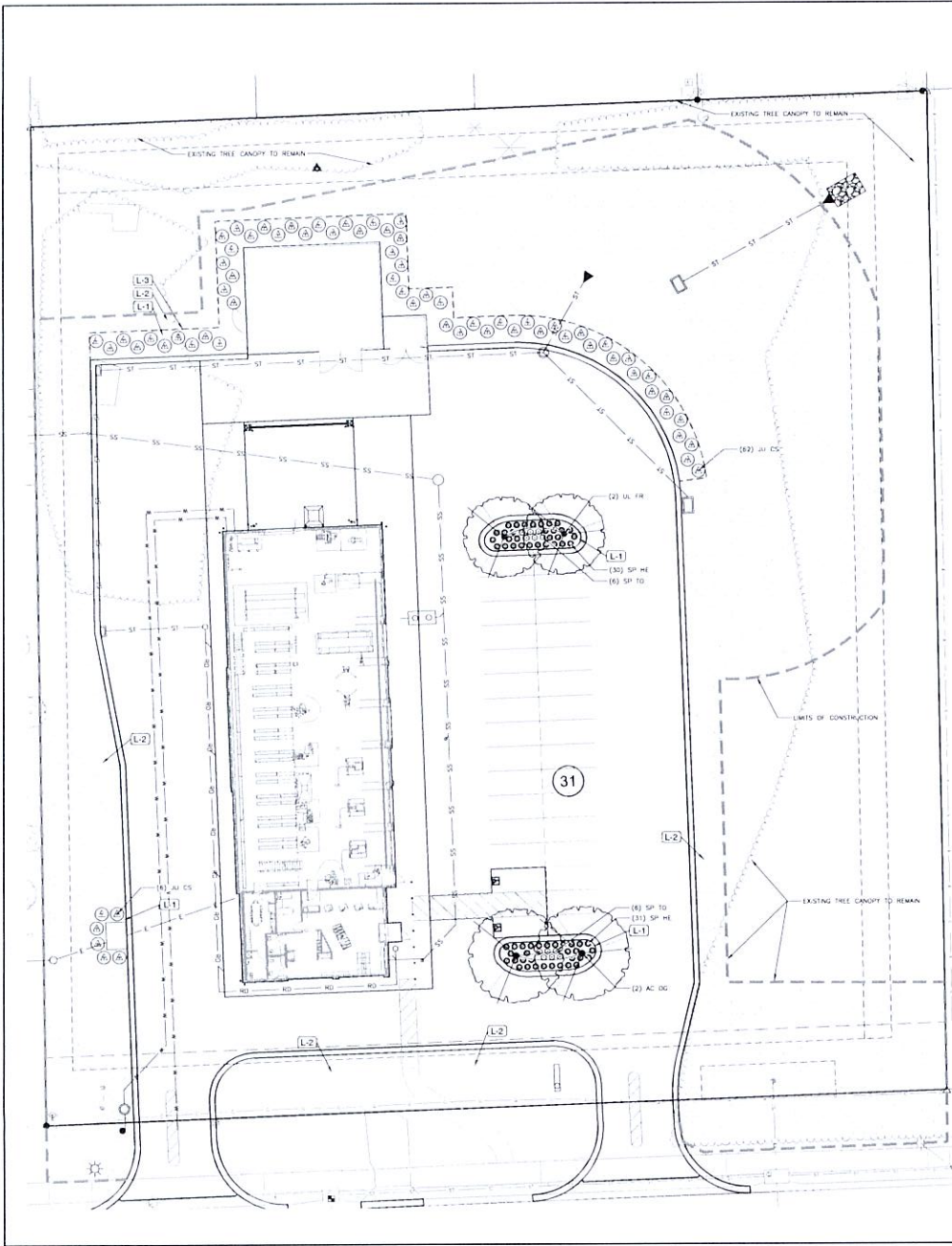
LES SCHWAB TIRES
 800 EISENHOWER RD, LEAVENWORTH, LEAVENWORTH COUNTY, KS



REVISIONS
 04/23/2025 - PER CITY COMMENTS

DESIGNER / DRAFTER
 DATE: MARCH 2025
 PROJECT NUMBER: 232419
 BLOCK AND PAGE

SHEET 03



PLANT SCHEDULE

CODE	BOTANICAL NAME	COMMON NAME	PLANT SIZE	CONT	HEIGHT	WIDTH
COLUMNAR EVERGREEN TREES						
AL 03	JUNIPERUS COMMENSIS SPARMIN	SPRAWN JUNIPER	8-7' HT	8" B & D	15-20'	3-5" W
DECIDUOUS TREES						
AC 03	ACER RUBRUM OCTOBER GLORY	OCTOBER GLORY RED MAPLE	27" CAL	8" B & D	40-50'	30-40'
UL 03	ULMUS & YONKLEI	FRONTIER ELM	27" CAL	8" B & D	25-30'	30-40'
CODE	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	WIDTH	
DECIDUOUS SHRUBS						
SP 10	SPIRAEA HELIOPHILA 'DOR'	WHITE FROST™ BROCKLEHAI SPIREA	3 GAL	1-3 HT	1-3 W	
SP 06	SPARGANGLER HETEROLEPIS	PRINCE DRIPSLED	1 GAL	3-5' HT	3-5" W	

LANDSCAPE SCHEDULE

SYMBOL	CODE	DETAIL	DESCRIPTION	PRODUCT NAME	MANUFACTURER	CONTACT	COLOR/FINISH	SIZE	NOTES
	L-1		LANDSCAPE MULCH	TRIPLE SHREDED HARDWOOD MULCH	BY CONTRACTOR	BY CONTRACTOR	NATURAL/UNDEK	N/A	INSTALL TO A MINIMUM DEPTH OF 3" SUBMIT MULCH SAMPLE TO LANDSCAPE ARCHITECT PRIOR TO ORDERING.
	L-2		TURF SOO	HYT (RHIZOMATOUS TALL FESCUE) TURF TYPE FESCUE	1000 VALLEY FARMS	WWW.1000VALLEYFARMS.COM	N/A	N/A	INSTALL PER SUPPLIER'S SPECIFICATIONS. REMOVE NETTING PRIOR TO INSTALLATION.
	L-3		SPACE-CUT EDGE	SPACE-CUT EDGE	BY CONTRACTOR	N/A	N/A	N/A	REFER TO DETAIL.

LANDSCAPE CODE REVIEW - GBD ZONING

	REQUIRED	PROVIDED	UNITS PROVIDED
A. REQUIRED LANDSCAPING (SEC. 6.03)			
MINIMUM LANDSCAPING %	20%	20%	
B. BUFFER YARD (SEC. 6.05)			
BUFFER YARD REQUIREMENT (NORTH PROPERTY LINE)		10'	
- TOTAL LANDSCAPING UNITS	0.5 UNITS PER LINEAR FEET (2480.4 LF = 475 UNITS)	459 UNITS	459 UNITS
- MINIMUM TREE UNITS	0.0 UNITS PER LINEAR FEET	0.0 UNITS	
- MINIMUM SHRUB UNITS	0.15 UNITS PER LINEAR FEET (15' X 857 LF = 143 UNITS)	496 UNITS	496 UNITS
C. INTERIOR PARKING (SEC. 6.04)			
INTERIOR LANDSCAPE	200 SF PER 10 STALLS = 600 SF	697 SF	
- REQUIRED TREES	3 TREES	4 TREES	7 UNITS
- REQUIRED SHRUBS	12 SHRUBS	12 SHRUBS	12 UNITS

LAMP RYNEARSON

LAMP RYNEARSON COS
 1100 CHAMBERS ST. STE 2100
 FORT COLLINS, CO 80504
 970.226.1100
 WWW.LAMPRYNEARSON.COM



PRELIMINARY

NOT RELEASED FOR CONSTRUCTION

NAME: GIBBY WATSON

DATE: 03/13/2025

LANDSCAPE PLAN

LES SCHWAB TIRES
 800 EISENHOWER RD., LEAVENWORTH, LEAVENWORTH COUNTY, KS

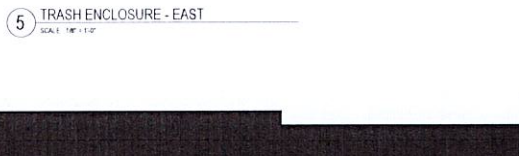
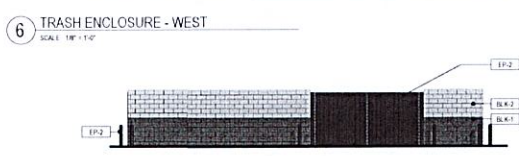
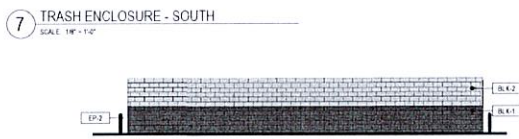
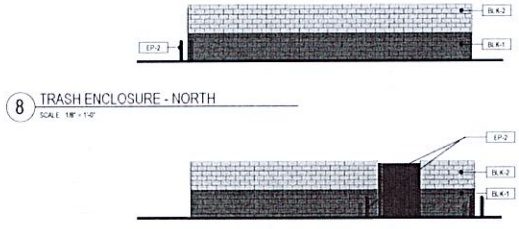
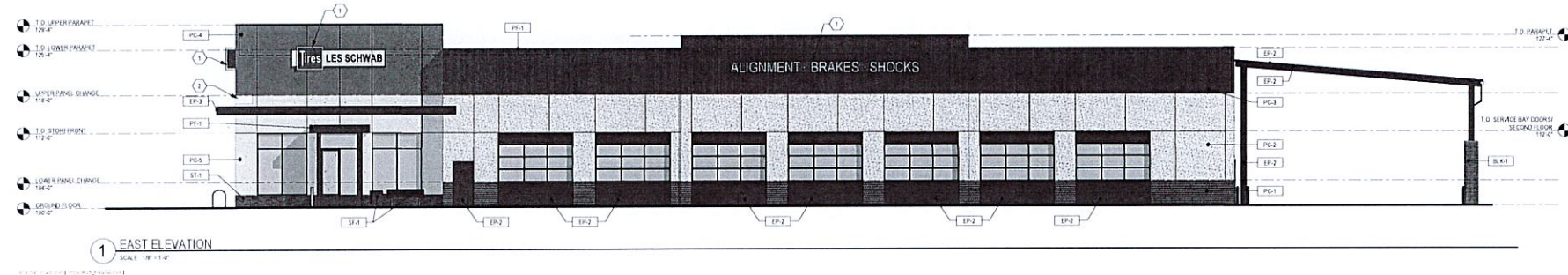
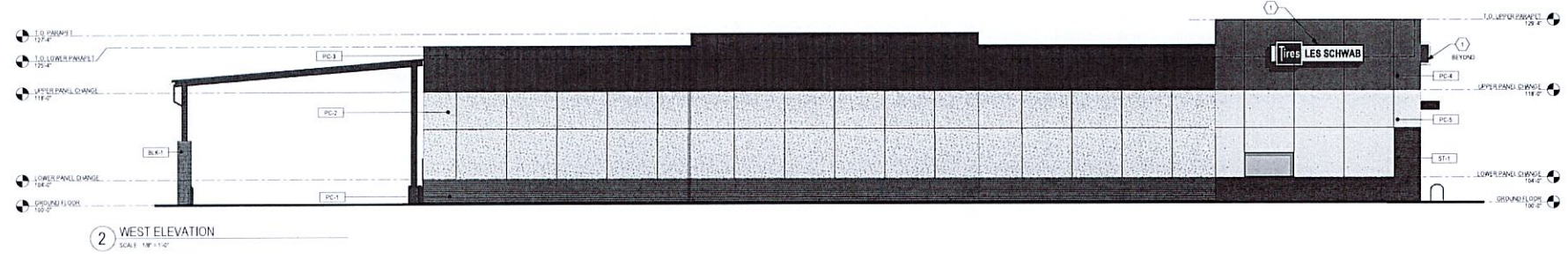
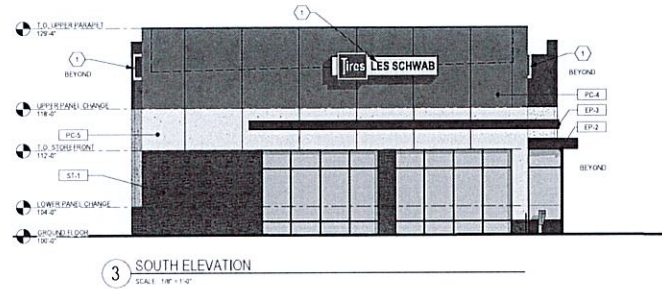
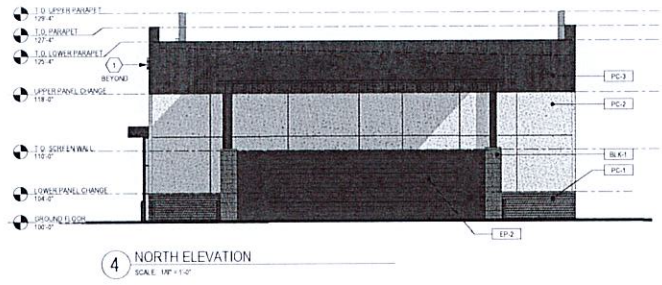


REVISION: 03/13/2025 - PER CITY COMMENTS

DESIGNER / DRAWN BY

DATE: MARCH 2025
 PROJECT NUMBER: 232419M
 BLOCK AND PAGE

SHEET



ELEVATION GENERAL NOTES:

- A. ANY BRONZE DETAIL ELEVATIONS TO BE PERMITTED SEPARATELY, BY OWNER
- B. ALL VERTICAL DIMENSIONS SHOWN ARE FROM FINISH FLOOR
- C. ALL LEVEL AND STRUCTURAL DRAWINGS FOR GRADE CHANGE AND RETAINING WALL DIMENSIONS AND LOCATIONS
- D. CONCRETE AND ROOF DRAINS AND DOWNSPOUTS TO SUBGRADE DRAINAGE SYSTEM REF CIVIL DRAWINGS
- E. CONCRETE WITH BRONZE PLANS REQUIRED STRUCTURAL BACKING IN METAL PANEL SYSTEM AND REQUIRED ELECTRICAL ROUGHING LOCATIONS
- F. EXPOSED STEEL CONCRETE WALLS IN UNPAVED AREAS ARE TO HAVE MULTICHOR GROUND COVER AGAINST EXPOSED CONCRETE TO RED FOOTING
- G. REFER TO SHEET 1501 FOR FINISH FLOOR SCHEDULE FOR EXTERIOR LIGHT FIXTURE MOUNTING HEIGHTS
- H. VERIFY LOCAL TREE DEPARTMENT REQUIREMENTS FOR ADDRESS NUMBER LOCATION
- I. LEANWORTHY SIGN STANDARDS
- J. SOUTHWALL TRANSPARENT - 3/4" SF BRONZE & 3/4" SF COL. ANIL. RED 2020
- K. SOUTHWALL MATERIALS - 1/2" SF CONCRETE, 1/2" SF WALL ANIL. ANIL. BRONZE 2020

ELEVATION KEY NOTES:

1. BRONZE BY CARLSON SIGN, REF SAME FOR ATTACHMENT DETAIL
2. ADDRESS NUMBER LOCATION, COORDINATE

MATERIAL LEGEND:

- PC-1 FALCON PRECAST CONCRETE, #4 HORIZONTAL RELIEF STAIN COLOR: SW 7566-1000A IS BRONZE 2020
- PC-2 FALCON PRECAST CONCRETE, #4 HORIZONTAL RELIEF STAIN COLOR: SW 7566-1000A IS BRONZE 2020
- PC-3 FALCON PRECAST CONCRETE, VERTICAL PATTERNED RELIEF STAIN COLOR: SW 8051-7797-LS COL. ANIL. RED 2020
- PC-4 FALCON PRECAST CONCRETE, SMOOTH STAIN COLOR: SW 7566-1000A IS BRONZE 2020
- PC-5 FALCON PRECAST CONCRETE, SMOOTH STAIN COLOR: SW 7566-1000A IS BRONZE 2020
- ST-1 HARVESTONE PRECAST STONE, VENEER, DRY STONE, COLOR: STRUNCH
- SF-1 SITE FURNISHINGS IN DARK BRONZE, TRASH RECEPTACLE AND BRONCH
- EP-2 EXTERIOR PAINT, COLOR: SW 8031-1000A IS BRONZE 2020
- EP-3 EXTERIOR PAINT, COLOR: SW 8031-7797-LS COL. ANIL. RED 2020
- PP-1 PRE-FINISHED METAL, COLOR TO MATCH SW 8031-1000A IS BRONZE 2020
- BLK-1 ANGELUS GMAU SPLIT FACE, (DARK)
- BLK-2 ANGELUS GMAU BURNED, (DARKER WHITE)

Farnsworth GROUP
5613 DTC PARKWAY, SUITE 1100
GREENWOOD VILLAGE, CO 80111
(303) 652-8858 / info@fng.com

www.fng.com
Engineers | Architects | Surveyors | Scientists

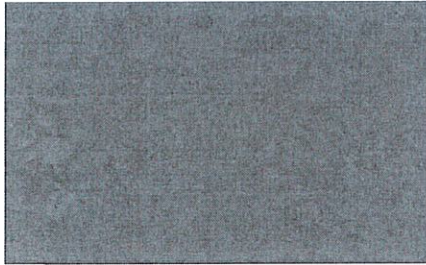
800 EISENHOWER RD
LEAS SCHWAB TIRE CENTER -
LEAVENWORTH, KS

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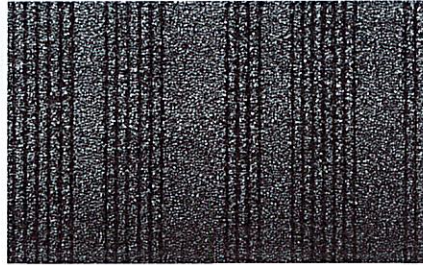
03/04/2025
PROJECT # 115, PROJ 0024
DESIGNED BY: EMBALBO
DRAWN BY: J. PATRICK
REVISIONS:

EXTERIOR ELEVATIONS

A202



PC-4 - FABCON PRECAST CONCRETE, SMOOTH
GRIZZLE GRAY



PC-3 - FABCON PRECAST CONCRETE, VERTICAL RELIEF
LES SCHWAB COLONIAL RED



EP-3 - LES SCHWAB COLONIAL RED



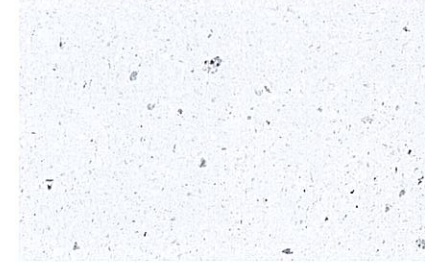
EP-2, SF-1, PF-1 - DARK BRONZE



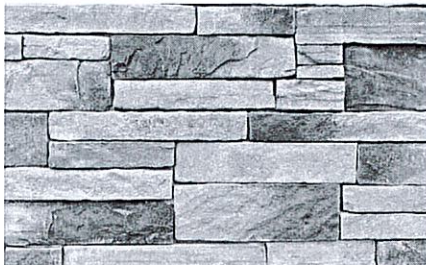
PC-5 - FABCON PRECAST CONCRETE, SMOOTH
WEST HIGHLAND WHITE



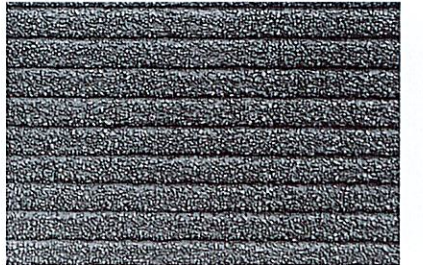
PC-2 - FABCON PRECAST CONCRETE - EXPOSED AGGREGATE
WHITE



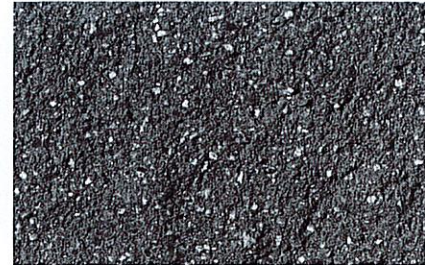
BLK-2 - ANGELUS BURNISHED CMU
GLACIER WHITE



ST-1 - HARRISTONE PRECAST STONE VENEER
STIRLING

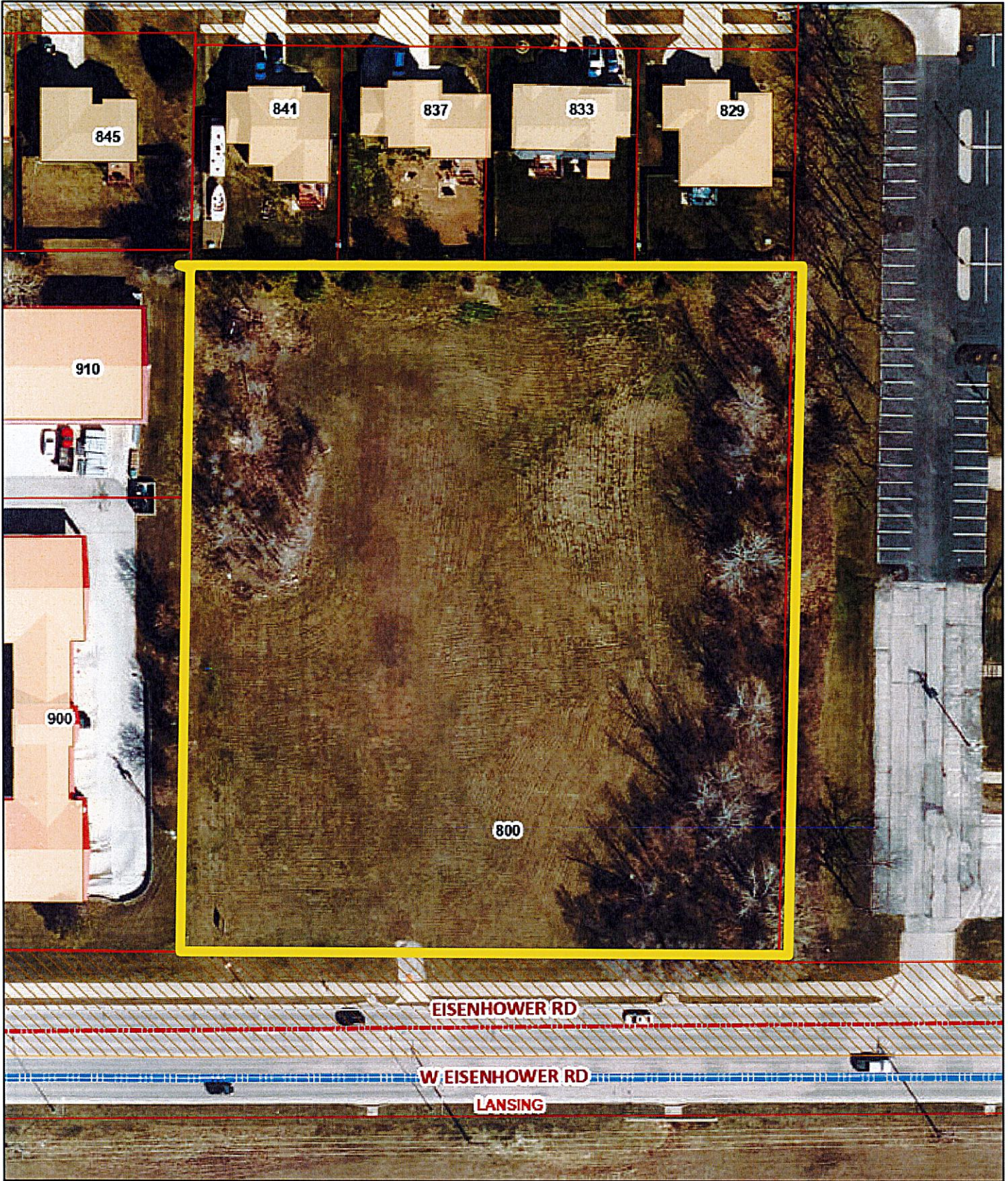


PC-1 - FABCON PRECAST CONCRETE - HORIZONTAL RELIEF
GRIZZLE GRAY

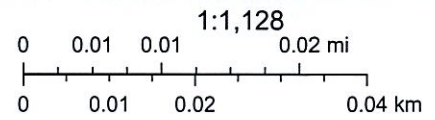


BLK-1 ANGELUS SPLIT FACE CMU
ONYX

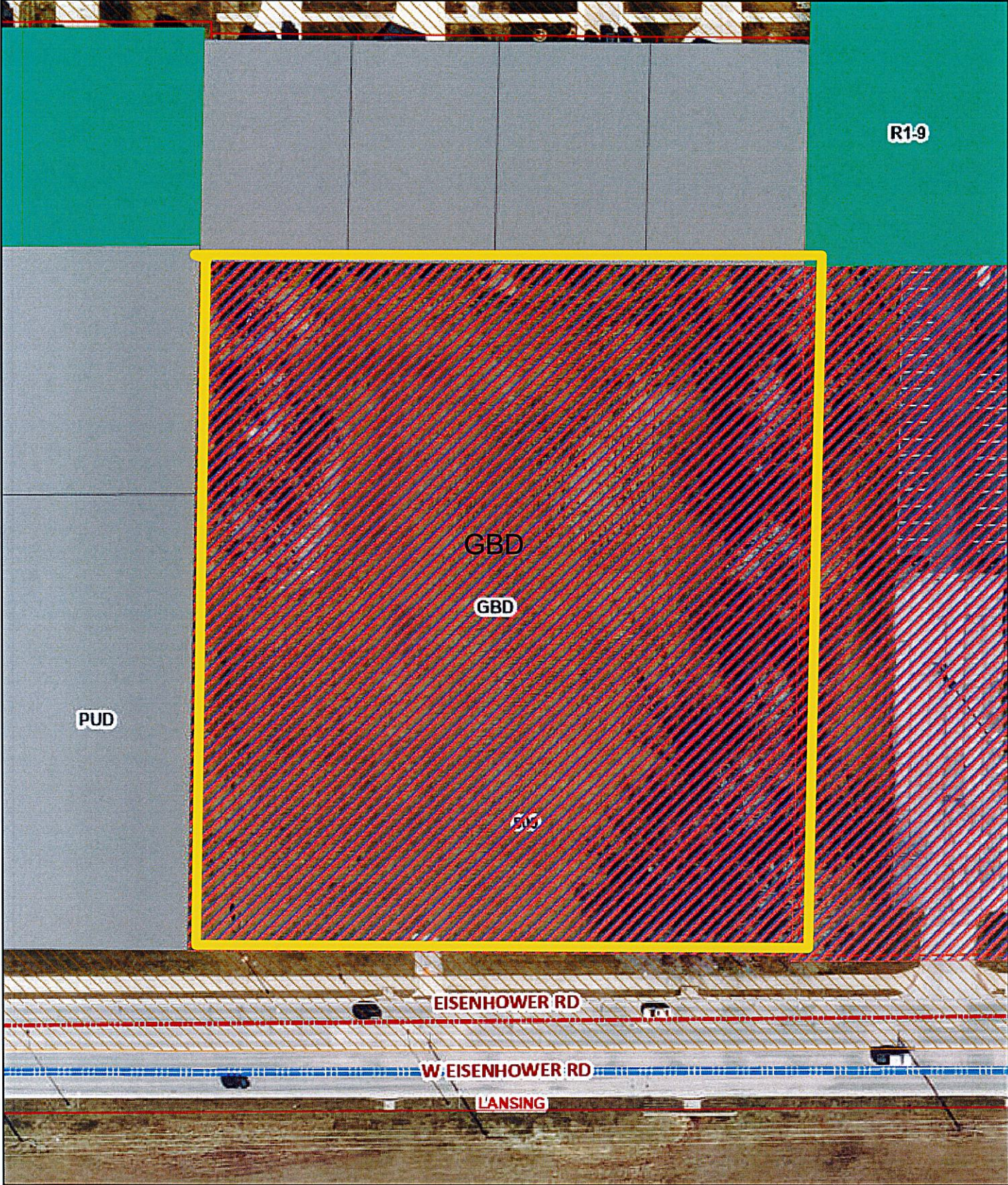
2025-06 PLN



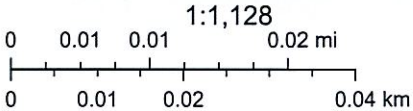
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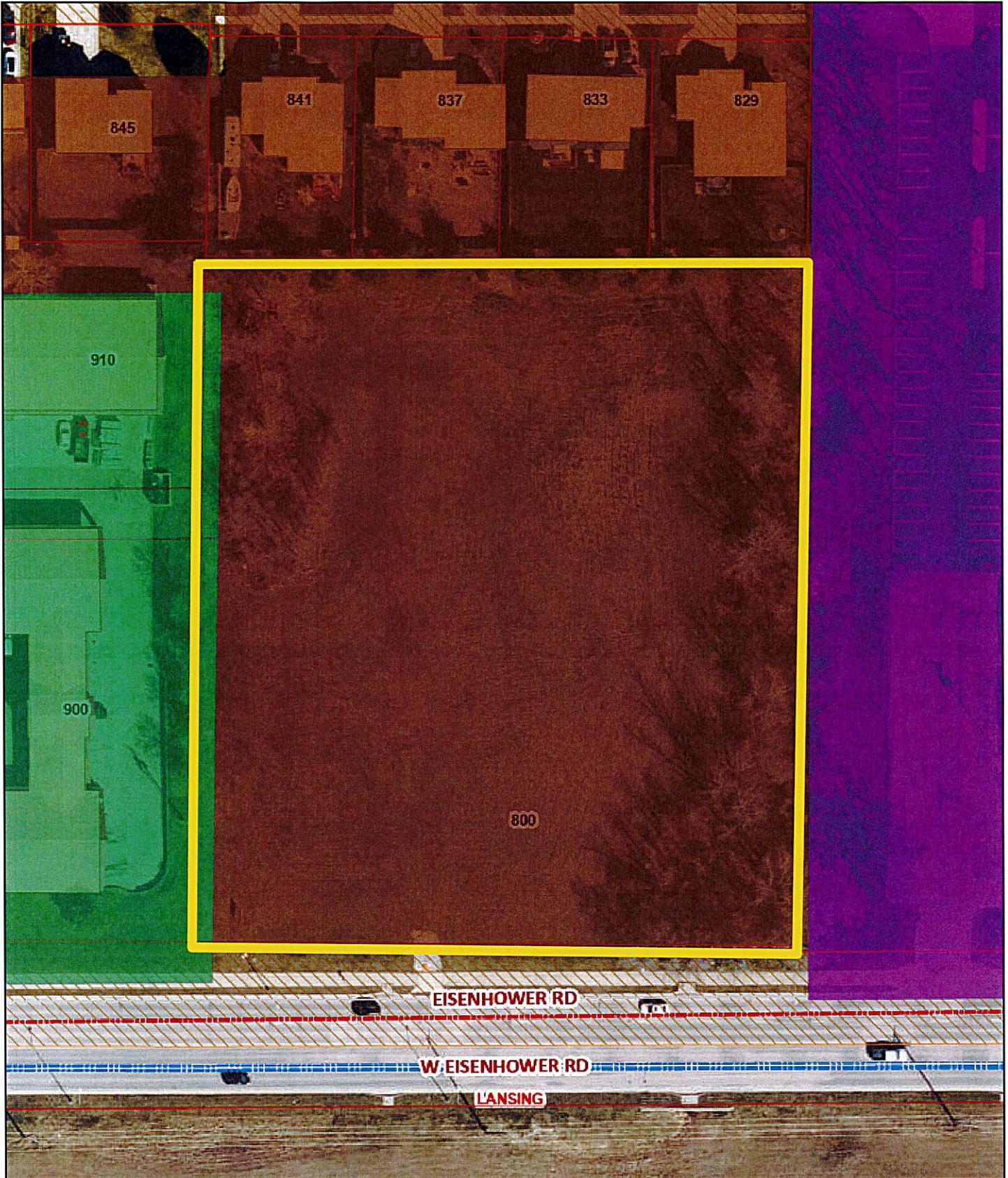
2025-06 PLN (Zoning)



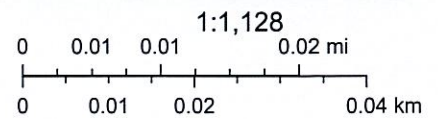
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2025-06 PLN (FLU)



4/30/2025, 11:43:59 AM



LEAVENWORTH CITY PLANNING COMMISSION
SITE PLAN REVIEW

Fund M2

Date Filed: 3/21/25
Project # 17009
Review date: 5/5/25

Project Location 800 W Eisenhower Road
Legal Description Pine Meadow Place, Tract A
Current Property Zoning GBD (General Business)
Type of Project Commercial

Name of Project: Les Schwab Tire Center
Name of Developer: Les Schwab Warehouse Center LLC Phone: (541) 416-5390
Firm/Corporation: stacia.gebers@lesschwab.com
Contact Person: Stacia Gebers
Address: 20900 Cooley Rd Bend OR 97701
No. Street City State Zip

Engineer / Planner: Lamp Rynearson Phone: (816) 823-7239
Firm/Corporation: dan.mcghee@lamprynearson.com
Contact Person: Dan McGhee
Address: 9001 State Line Rd, Ste 200 Kansas City MO 64081
No. Street City State Zip

Owner/s: *attach a list of all property owners, with addresses if necessary* Three B's - CDS, LLC Phone: (913) 683-8772
Contact Person: Dale Bohannon drb1967@yahoo.com
Address: 19217 High Prairie Road Leavenworth KS 66048
No. Street City State Zip

Supplemental Information: (at least 15 days prior to Planning Commission meeting)

- Boundary of project with dimensions to scale
- Existing topography
- Existing and proposed land use showing the approximate location and dimensions of buildings, open space, parking and drives and other structures
- n/a The character and approximate density of dwellings (for PUD and RMF district only)
- The location of major thoroughfares, streets and alleys
- n/a Proposed recreational areas or other open space
- Landscape plans, including location and height of all walls, fences, and screen plantings and open space coverage figures will conform to district requirements
- All parking areas shall be properly screened when adjoining residential uses or districts
- All mechanical structures and appurtenances, storage and exterior solid waste containers shall be screened from public view on a year-round basis by an enclosure which shall be a minimum of six (6) feet in height
- Commercial, industrial or multi-family uses which abut a residential district should be properly screened
- Drainage plan
- Location of existing and proposed fire hydrants and utilities with a statement from the Fire Chief and various utility companies involved confirming and approving the locations (have discussed flow and pressure with Leavenworth Waterworks, gas with Spire, electric service location with Evergy, and Fire requirements with interim Fire Marshall)
- Land uses within two hundred (200) feet of the project area
- Informational sketches showing building height, bulk, and proposed use
- Name of owner, scale, north point and date of plan
- n/a Copies of any special agreement, conveyances, restrictions, or covenants which will govern the use, maintenance, and continued protection of a planned development and of its common park areas
- Size and location of all signs
- Building plans and elevations

**PLANNING COMMISSION AGENDA ITEM
2025-07 SUB
PHIL'S CORNER
PRELIMINARY PLAT**

MAY 5, 2025

SUBJECT:

A request for a preliminary plat of Phil's Corner.



Prepared By:

Kim Portillo, AICP
Director of Planning and
Community Development

ANALYSIS:

The subject property is owned by the Oliver Gene Warren Trust, with Phillip Martin as Trustee. The plat has been prepared by Herring Survey Company.

The applicant is requesting approval of a 24.08-acre, 2 lot preliminary plat for Phil's Corner, located at the north corner of Tonganoxie Road and S. 20th Street. The property is currently zoned R1-9 Medium Density Single Family Residential District and GBD, General Business District. The proposed plat will divide the lot in accordance with the existing zoning. The property is currently occupied by one single-family home, which is on the R1-9 zoned portion.

The split zoning of this property was established in 1998 under Ordinance 7375, as a result of an agreement between the City and property owner at the time of annexation. In 1994, through a voluntary annexation agreement, this property was annexed into the city to allow the city to acquire or condemn right of way needed for the construction of 20th Street. There was a condition in the annexation agreement that the two acres at the intersection be zoned commercial and the remainder zoned R1-9, however both sections remained as one parcel at the time and have since. The applicant now wishes to plat the property to separate the differently zoned pieces into two parcels.

The plat was reviewed by the Development Review Committee. No issues of note were identified with the plat.

The associated final plat for the development is also on this agenda.

Staff recommends approval of the Phil's Corner Preliminary Plat.

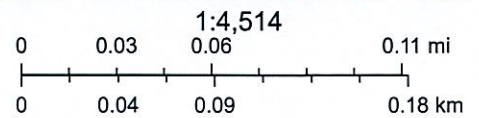
ACTION/OPTIONS:

- Approve the Preliminary Plat
- Deny the Preliminary Plat
- Table the issue for additional information/consideration.

2025-07 SUB



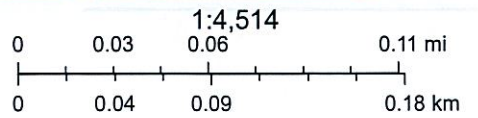
4/30/2025, 10:49:37 AM



2025-07 SUB (Zoning)



4/30/2025, 10:56:26 AM



PHIL'S CORNER

A Major Subdivision of land in the North Half of Section 10, Township 9 South,
Range 22 East of the 6th P.M., City of Leavenworth, Leavenworth County, Kansas.

PRELIMINARY PLAT

PREPARED FOR:
CANDY LINDA BRITTON TRUST
1711 THE ANTON ST
LEAVENWORTH, KANSAS 66048
P.O. # 812-150-10-00-00-01

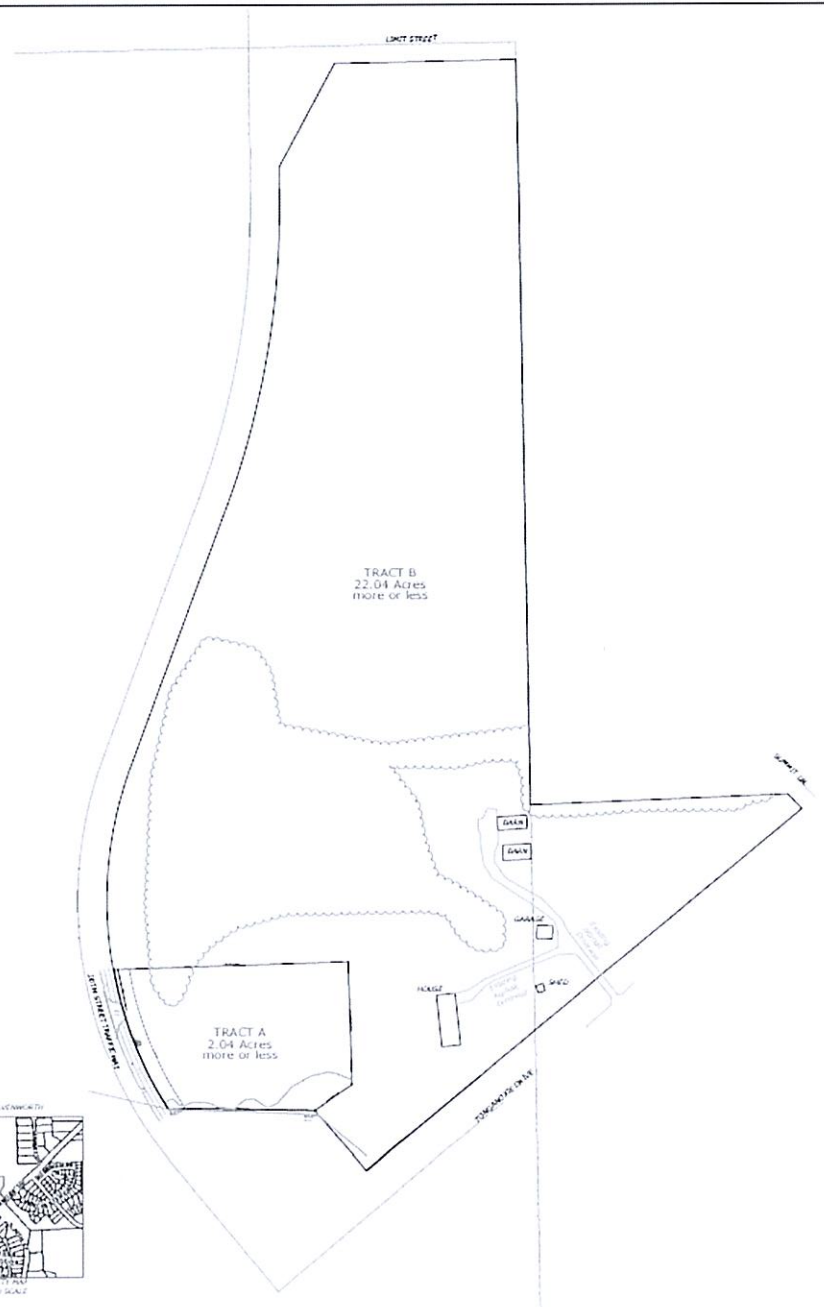
TRACT A

A tract of land located in section 10 T9S R22E of the 4th PM
is described as follows: Commencing at a point on the west right of
way line of 20th Street, Trafficking at its intersection with the
southwest line of County Road 3, thence westward a distance of
175 feet along the right of way of said street to the point of
beginning; thence westerly along said right of way a distance of
275.18 feet; thence northerly along said right of way a distance
of 255.46 feet; thence east 174.87 feet; thence south 218 feet;
thence southeasterly 18 feet to the point of beginning,
containing approximately 2.04 acres.

TRACT B
A tract of land located in section 10 T9S R22E of the 4th PM
is described as follows: Beginning at a point 32 feet south of the
north quarter corner of said section, thence west 560 feet;
thence south 823 feet; thence west 212 feet; thence
southeasterly 452 feet to the right of way line of 20th Street
Trafficking; thence northerly to the northwest corner of the
tract described above; thence east 328.9 feet; thence north 218
feet; thence southwest 78 feet; thence southeasterly 135 feet;
thence northerly along the southwest line of County Road 3 a
distance of 970 feet to the south line of County Hill; thence
thence west 412 feet; thence north 1278 feet to the point of
beginning enclosing all land taken for right of way.



Scale 1" = 100'





Project No. 2025-07 SUB

**PRELIMINARY PLAT
APPLICATION
CITY OF LEAVENWORTH**

OFFICE USE ONLY

Application No. 17063

Fee 350.00

(\$350 plus \$10 per lot over 5 lots)

Date Paid 4/4/25

Received By ARK

Meeting Date 5/5/25

NAME OF SUBDIVISION/PROJECT: PHIL'S CORNER
LOCATION OF SUBDIVISION/PROJECT: 3500 Tonganoxie (southern portion zoned GBD)
NE COR of Intersection of 20th Street and Tonganoxie Drive - Section 10-9-22

NAME OF PROPERTY OWNER: (If Corporation, include name and address of Director or President)

NAME: Phil Martin - Trustee - Oliver Gene Warren Trust

STREET ADDRESS: 1701 Thornton Street

CITY: Leavenworth **STATE:** Kansas **ZIP:** 66048

PHONE: 913-683-2057 **EMAIL:** JustPhilMartin@aol.com

NAME OF DEVELOPER / ATTORNEY OR AGENT: (If Corporation, include name and address of Director or President)

NAME: SAME AS ABOVE

STREET ADDRESS: _____

CITY: _____ **STATE:** _____ **ZIP:** _____

PHONE: _____ **EMAIL:** _____

NAME OF SURVEYOR PREPARING PLAT:

COMPANY: Herring Surveying Company

STREET ADDRESS: 315 North 5th Street

CITY: Leavenworth **STATE:** KS **ZIP:** 66048

PHONE: 913-651-3858 **EMAIL:** herringsurveying@outlook.com

PARCEL NO: 102-10-0-00-001 **SEC.TWP.RNG.** 10-9S-22E

ZONING OF SUBJECT PROPERTY: GBD **CURRENT LAND USE:** Agriculture

TOTAL ACREAGE: 2.04 Acres **NUMBER OF LOTS:** 1

LEGAL DESCRIPTION: (Attach full recorded legal description provided by the REGISTER OF DEEDS OFFICE)

Zoning Ordinance attached creating said tract

PLANNING COMMISSION AGENDA ITEM
2025-08 SUB
PHIL'S CORNER
FINAL PLAT

MAY 5, 2025

SUBJECT:

A request for a final plat of Phil's Corner.



Prepared By:

Kim Portillo, AICP
Director of Planning and
Community Development

ANALYSIS:

The subject property is owned by the Oliver Gene Warren Trust, with Phillip Martin as Trustee. The plat has been prepared by Herring Survey Company.

The applicant is requesting approval of a final plat for one, 2.04-acre lot, known as Lot 1 of Phil's Corner. This property is located at the north corner of Tonganoxie Road and S. 20th Street. The property is currently zoned GBD, General Business District, and the applicant is not seeking a rezoning at this time.

The lot is currently undeveloped, with future access planned from 20th Street. The final plat includes dedication of a 10-foot wide utility easement to the City of Leavenworth along property lines.

The plat was reviewed by Development Review Committee. No issues of note were identified with the plat.

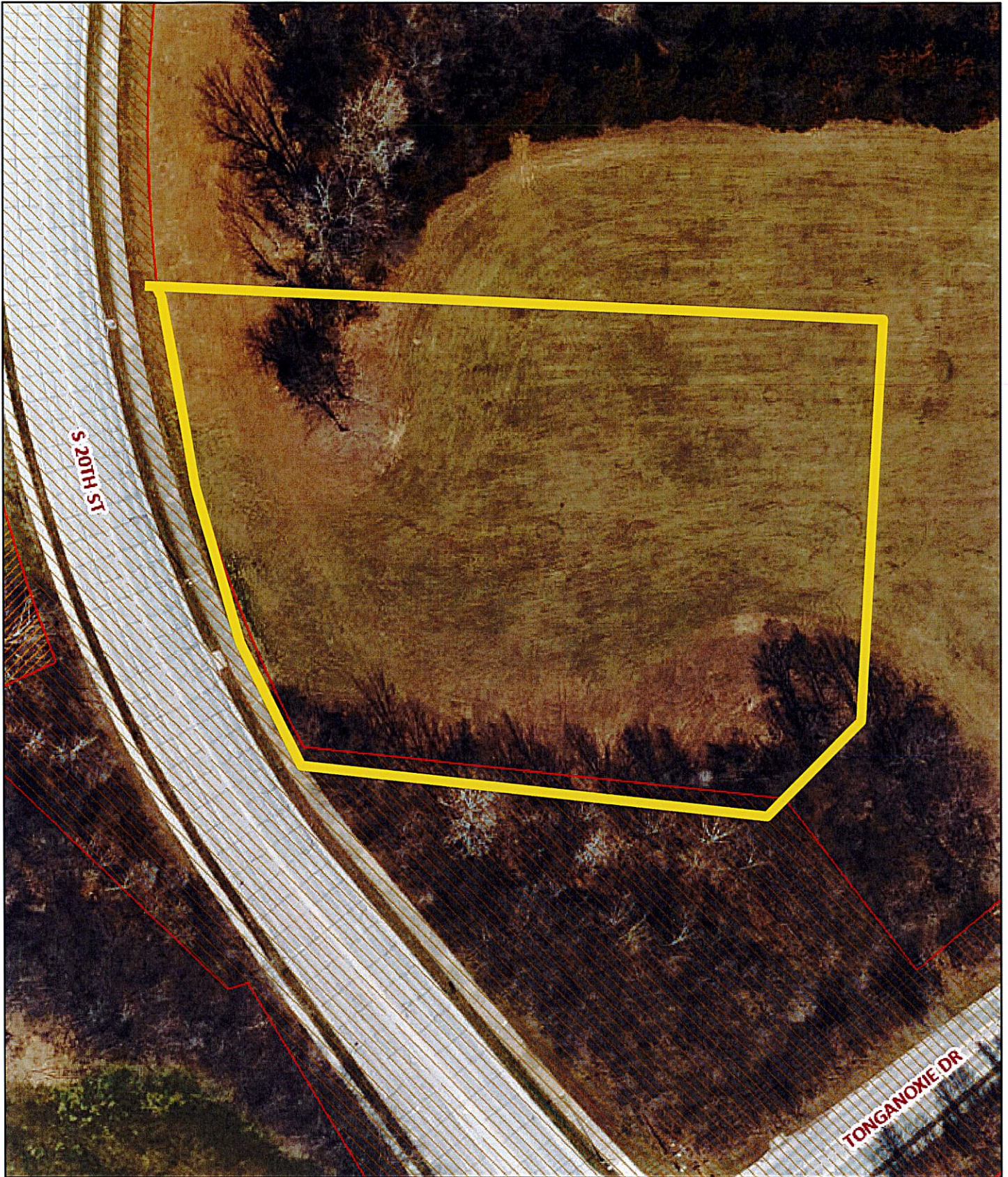
The associated preliminary plat for the development is also on this agenda.

Staff recommends approval of the Phil's Corner, Final Plat.

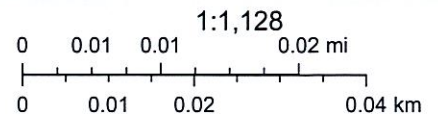
ACTION/OPTIONS:

- Approve the Final Plat
- Deny the Final Plat
- Table the issue for additional information/consideration.

2025-08 SUB



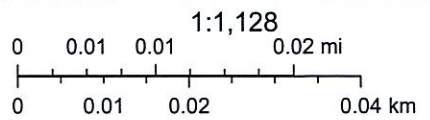
4/30/2025, 11:13:41 AM



2025-08 SUB (Zoning)



4/30/2025, 11:12:27 AM



PHIL'S CORNER

A Major Subdivision of land in the North Half of Section 10, Township 9 South, Range 22 East of the 6th RM, City of Leavenworth, Leavenworth County, Kansas.

FINAL PLAT

PREPARED FOR:
Oliver Gene Warren Trust
1301 TOWNSEND ST
LEAVENWORTH, KANSAS 66048
PLOT # 102-10-0-00-00-001

DESCRIPTION - Per Ordinance 7171 dated 1998
A tract of land located in section 10-T9S-R22E of the 6th PM described as follows: Commencing at a point on the east right of way line of 20th Street west of its intersection with the northwest line of County Road 5, thence northwest a distance of 135 feet along the right of way of 20th Street to the point of beginning; thence westerly along said right of way a distance of 253.19 feet; thence southerly along said right of way a distance of 252.86 feet; thence east 398.9 feet; thence south 210 feet; thence westerly 70 feet to the point of beginning, containing approximately 2.04 acres.

SURVEYOR'S DESCRIPTION
A tract of land in the Northwest Quarter of Section 10, Township 9 South, Range 22 East of the 6th RM, City of Leavenworth, Leavenworth County, Kansas, as written by Joseph A. Herring SS 1286 on March 8, 2023, more fully described as follows: Commencing at the northeast corner of said Northwest Quarter, thence South 01 Degree 05' 26" East for a distance of 1573.07 feet along the East line of said Northwest Quarter, thence South 88 Degree 34' 34" West for a distance of 316.02 feet to a true POINT OF BEGINNING, thence South 01 Degree 45' 18" East for a distance of 209.90 feet, thence South 34 Degree 48' 03" West for a distance of 77.35 feet, thence North 88 Degree 17' 03" West for a distance of 212.29 feet to the Eastern right of way of 20th Street, thence along said right of way along a non tangent curve to the right having a radius of 661.2 feet and an arc length of 233.88 feet along said right of way, being subtended by a chord bearing of North 20 Degree 58' 06" West and a chord distance of 124.11 feet, thence North 88 Degree 12' 34" East for a distance of 398.90 feet to the point of beginning, together with and subject to covenants, easements and restrictions of record.
Said property contain 2.04 acres, more or less.
Error of Closure = 1 : 30883

PLATTED DESCRIPTION:
Lot 1, PHIL'S CORNER, a subdivision in the City of Leavenworth, Leavenworth County, Kansas.

CERTIFICATION AND DEDICATION
The undersigned proprietors state that all taxes of the above described tract of land have been paid and that they have assent the same to be subdivided in the manner shown on the accompanying plat, which subdivision shall be known as: PHIL'S CORNER.
Easements shown on this plat are hereby granted to the City of Leavenworth, Kansas, with subordinate use of the same by other governmental entities and public utilities as may be authorized by state law to use such easement for land purposes. (City Easements that are not clear of obstructions that impair the strength or interfere with the use and/or maintenance of public utilities located within the easement.)
Building Lines or Setback Lines (B.S.L.) are hereby established as shown on the accompanying plat and no building or portion thereof shall be built or constructed between this line and the street line.

IN TESTIMONY WHEREOF,
We, the undersigned owners of PHIL'S CORNER, have set our hands this _____ day of _____, 2023.

Phil Martin, Trustee
Oliver Gene Warren Trust

NOTARY CERTIFICATE
Be it remembered that on this _____ day of _____, 2023, before me, a notary public in and for said County and State (Name Phil Martin, Trustee to the Oliver Gene Warren Trust, to the persons known to be the same persons who executed the foregoing instrument of writing, and duly acknowledged the execution of same. In testimony whereof, I have hereunto set my hand and affixed my notary seal the day and year above written.

NOTARY PUBLIC
My Commission Expires: _____ (Last)

This plat of PHIL'S CORNER has been submitted to and approved by the Leavenworth City Commission on this _____ day of _____, 2023.

Mayer: Holly Pittman City Clerk: Sarah Bodenstener

Public Works Director: Brian Faust City Attorney: David E. Waters

This plat of PHIL'S CORNER has been submitted to and approved by the Leavenworth Planning Commission on this _____ day of _____, 2023.

Chairman: Bill Waugh Secretary: Kim Porello

Public Works Director: Brian Faust



Scale 1" = 40'

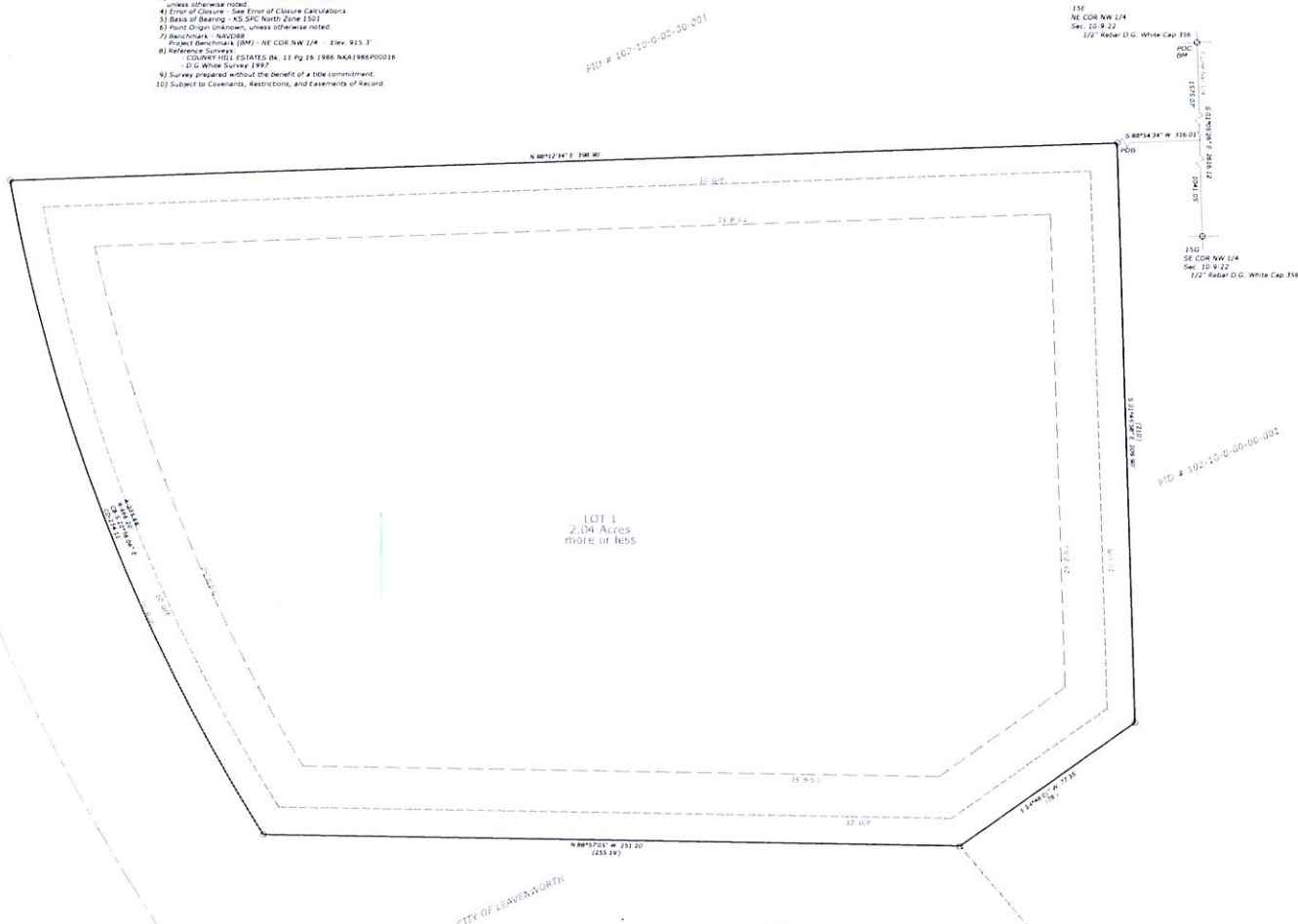
Job # K-23-1703
March 8, 2023, Plat # 232525



ZONING:
GBD - General Business District

- NOTES:
- This survey does not show ownership.
 - All distances are calculated from measurements or measured this survey, unless otherwise noted.
 - All recorded and measured distances are the same, unless otherwise noted.
 - Area of Closure: Total Error of Closure Calculations
 - State of Bearing - KS SFC North Zone 1301
 - Point Origin Unknown, unless otherwise noted.
 - Benches - NAVD88
 - Benches - Kansas (M) - NE COR NW 1/4 - Elev. 913.3
 - Reference Surveys - COUNTY WELLS STATES, PL 11 Aug 16 1961 N641984P00018 - D.G. White Survey 1997
 - Survey prepared without the benefit of a job commitment.
 - Subject to covenants, restrictions, and easements of record.

- LEGEND:
- 1/2" Rebar Set with Cap No. 1296
 - 1/2" Rebar Round Cap 356, unless otherwise noted
 - Record / Deeded Distance
 - B.S.L. - Building Setback Line
 - R/W - Existing Road Right of Way
 - PCB - Point of Beginning
 - UE - Utility Easement



REGISTER OF DEED CERTIFICATE
Filed for record as Document No. _____ on this _____ day of _____, 2023 at _____ o'clock _____ M in the Office of the Register of Deeds of Leavenworth County, Kansas.

Register of Deeds - Terrill G. Nashburn



I hereby certify that this survey was made by me, or under my direct supervision, on the ground during the month of March 2023 and this map or plat is correct to the best of my knowledge.
Joseph A. Herring
P.C. # 1296



Project No. 2025-08 SUB

**FINAL PLAT
APPLICATION
CITY OF LEAVENWORTH**

OFFICE USE ONLY

Application No. 17064

Fee 350.00

(\$350 plus \$10 per lot over 5 lots)

Date Paid 4/4/25

Received By ARL

Meeting Date 5/5/25

NAME OF SUBDIVISION/PROJECT: PHIL'S CORNER
LOCATION OF SUBDIVISION/PROJECT: 3500 Tonganoxie (southern portion zoned GBD)
NE COR of Intersection of 20th Street and Tonganoxie Drive - Section 10-9-22

NAME OF PROPERTY OWNER: (If Corporation, include name and address of Director or President)
NAME: Phil Martin - Trustee - Oliver Gene Warren Trust

STREET ADDRESS: 1701 Thornton Street

CITY: Leavenworth **STATE:** Kansas **ZIP:** 66048

PHONE: 913-683-2054 **EMAIL:** JustPhilMartin@aol.com

NAME OF DEVELOPER / ATTORNEY OR AGENT: (If Corporation, include name and address of Director or President)
NAME: SAME AS ABOVE

STREET ADDRESS: _____

CITY: _____ **STATE:** _____ **ZIP:** _____

PHONE: _____ **EMAIL:** _____

NAME OF SURVEYOR PREPARING PLAT:
COMPANY: Herring Surveying Company

STREET ADDRESS: 315 North 5th Street

CITY: Leavenworth **STATE:** KS **ZIP:** 66048

PHONE: 913-651-3858 **EMAIL:** herringsurveying@outlook.com

PARCEL NO: 102-10-0-00-00-001 **SEC.TWP.RNG.** 10-9S-22E

ZONING OF SUBJECT PROPERTY: GBD **CURRENT LAND USE:** Agriculture

TOTAL ACREAGE: 2.04 Acres **NUMBER OF LOTS:** 1

LEGAL DESCRIPTION: (Attach full recorded legal description provided by the REGISTER OF DEEDS OFFICE)